



Leadville Historic Preservation Commission Regular Meeting Agenda

Date: 08-08-23 Time: 4:00pm

Location: City Hall, 800 Harrison Ave.

Leadville, CO 80461

(Held In-person AND via Zoom)

Topic: HPC Regular Meeting

Time: Aug 08, 2023 04:00 PM Mountain Time (US and Canada)

Join Zoom Meeting

<https://leadville-co-gov.zoom.us/j/82976566236?pwd=eUtsbnpaYWh0QXJJoS0U5WEZKQU9UQT09>

Meeting ID: 829 7656 6236

Passcode: 80461

Dial by your location

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| Time | Topics & Discussion | Anticipated Action | Discussion Lead |
|----------------|---|---------------------------|---------------------------|
| 1 min | Call to Order | | Chair |
| 9 mins | 1. Governance Items: | | |
| 1 min | • Roll Call | Motion of approval | Chair, Staff |
| 1 min | • Approval of Agenda/Revisions | of agenda | |
| 1 min | • Approval of 07-25-23 Minutes | and | |
| 1 min | • Public Comment - Items Not on Agenda | minutes | |
| 5 mins | • Housekeeping Items – Martinek/Spillman were appointed at 8/01/23 City Council meeting; Contract with Metcalf executed, sent to History Colorado | | |
| 30 mins | 2. Updates: | *Items for formal vote | Staff, Commission Members |
| 10 mins | • A. 140 E 8th St Review: Staff was asked to pull building permit, stamped plans and building approval form; staff requested on 7/28, no response | | |
| 85 mins | 3. New/Continued Business: | | |
| 25 mins | • A. *304 West 7th Street Certificate of Appropriateness, Residential Infill | *Items for formal vote | Staff, Commission Members |
| 20 mins | • B. Advisory Members Decision: Paul Mueller and Stuart Francone | | |
| 20 mins | • C. State Historical Fund/Other Grant Options | | |
| | 4. 2023 Goals: | | |
| | 1. More Diversity in our Outreach | | |
| | 2. Historic Revitalization grants for prominent buildings on Harrison, to help preserve rapidly deteriorating buildings. | | |
| | 3. BE MORE VISIBLE: Open houses, get logo out. | | |
| | 4. Summer Historic Home Tour | | |
| 1 min | Adjourn: | | Chair, Staff |

Next Meeting: August 228th, 2023 – 304 W 7th St Infill Certificate of Appropriateness

Tuesday, July 25, 2023- 4:00pm
Leadville Historic Preservation Commission
Regular Meeting DRAFT Minutes
City Hall and via Zoom

Attendance: Chair Marcia Martinek, Commissioners Scott Spillman and Joey Edwards;
Commissioners Stephen Whittington and Mick Lindquist – Absent
Alternate Members – Curt Fladager and Nancy Bailey - Present

City of Leadville Mayor Greg Labbe - Absent

Administrative Assistant, Lori Tye and Planning Director Chapin LaChance – Present

Call to Order: 4:00 pm

Governance Items

Approval of Agenda: Agenda Revisions – NONE **Commissioner Spillman** moved to approve the amended agenda; Edwards seconded; all present were in favor.

Approval of Minutes:

July 11, 2023 minutes: **Commissioner Spillman** moved to approve the July 11, 2023 minutes; Edwards seconded; all present were in favor.

Chair Martinek noted our two alternates will serve as commissioners with two commissioners absent.

Public Comment: NONE

Discussion Items:

Housekeeping Items – Martinek/Spillman to be Re-appointed by mayor at 8/1/23 City Council.

601 Harrison Ave, old Dee Hive building: Staff (LaChance & Tye) received an email from Jeff Romer, they are going ahead with the renovation. Maybe the letter sent to the owner jump started this, but at least they are starting plans to renovate. LaChance has a pre-application meeting scheduled for Thursday of this week, Advisory member Mark Miller will also attend the pre-application meeting. **Email from Mark Miller**, he was a bar server at an event at the Tabor, and displayed the HPC logo to get the HPC some exposure. Staff noted this is the week we should hear something from the **National Trust Preservation Fund** regarding our application submitted on June 1st.

Updates:

- A. Resolution No. 14, Series of 2023:** A Resolution Approving a Services Agreement between The City of Leadville and Metcalf Archaeological Consultant, Inc. – **Approved by City Council July 18th**
- B. Resolution No. 15, Series of 2023:** A Resolution Authorizing \$3,605 to the Historic Preservation Commission for Additional Expenses related to the Cultural Resources Survey of the West End Residential – **Approved by City Council July 18th** Staff (Tye explained the request was for the balance of the \$8105 match, we received \$4500, leaving \$3605, instead of \$4000.) Staff (LaChance) stated he told Council the HPC had \$3300 left in the budget for the remainder of the year, didn't think we had any plans to spend that, letting council know it was almost a wash. It would have depleted our budget had we not gotten the \$3605 from the City.

New Business/Action Items

- A. Summer Historic Home Tour Discussion:** Adam Ducharme and Katie Hild were present. Ducharme mentioned the Tourism Panel wished they could have awarded the HPC more on the recent grant, but they had several applications, they are very supportive of the work the HPC does. The HPC thanked Ducharme for the grant. Chair Martinek explained the thoughts on the summer home tour; there used to be a Victorian Homes Tour the first weekend in December a while back (4-5 years ago). Home owners would sign up, usually 6-8 homes, dress up in their Victorian clothes and give tours and serve good food. The Herald building was always a part of it, then for some reason it just stopped. Martinek stated we, the HPC, thought it was a good way to present our historic preservation what we're doing, what we're hoping to do. It says "Summer" Home Tour, but Martinek doesn't think we need any more tourists in the summer. Ducharme agreed, maybe it's more of a shoulder season event, early June or September would be a better time for it, to generate more people in the off season. Martinek noted it's a good shoulder season type of

event, and noted the HPC is not going to be the one doing it, we don't have enough people on our commission, but we would like to partner with someone. We are interested in seeing if anyone else is interested in doing it or helping with it. We think it's a great idea, can include businesses as well as homes on the tour, just not sure how to get it going. Katie Hild noted they feel the same way, they would love to help and support, but don't have the manpower to get it going. She is only part time, 6 months out of the year, Adam is quite busy year-round. Hild spoke about more of a celebrity type tour, where people drive around and look at the historic houses and can read some facts/history about the house. Full Circle is doing a self-guided scavenger hunt, with an app, something along those lines. Hild believes the interest is there, they have a pamphlet at the Visitor's Center called Architecture in Leadville that just flies off the shelf. Ducharme spoke of the Visit Leadville/Twin Lakes working on rebranding in 2024, applying for grant funding to develop an app along with the rebranding. It would be really easy with an app to do a historic home tour. Rather than have people guiding those tours, an app would allow for seeing the homes, and a brief history would come up for each home, audio tour. Very challenging for staffing at the Visitor's Center. Discussed the possibility of charging for that type of app tour, or it could be set up to let users give donations to historic preservation in Leadville. Ducharme will be applying for a grant, that comes online in December, to fund the rebranding effort and will include funding an app in the request. He should know around the first of the year. Hild has someone that can create a pamphlet type tour of historic homes people could take on their own, without going inside the houses. Edwards noted it would be a good way to get it started, a walking tour or pamphlet tour, then incorporate that into an app, and maybe during April, Leadville History month, some of those homes could open up for a guided tour. Martinek agreed that would be a good place to start. Hild noted, we would want to get the owners permission to include their house on any of the tours, as visitors tend to knock on the door or stand on the lawn. Martinek asked if the Visitor's Center could let us know how the grant goes, and the HPC will try to get more people involved. All agreed it is a robust, great idea we need to keep pursuing. The HPC is fairly busy for the next few months, but we need to continue these efforts. LaChance asked Ducharme to let him know how the grant process goes and if there might be an ask for City Council to help fund an app, please let him know, he can go to Council and ask them to help. Council wants to help find opportunities to fund local grants for property owners. Ducharme met a gentleman at the governor's conference who has an app called Factor Earth and they are walking tours by using the app. Very interactive type app, Spillman believes Factor Earth by be developed by Metcalf. Ducharme thinks it could be. Metcalf is doing our Cultural Survey, that would be nice if we could use that partnership. Bailey noted that the Colorado Main Street program, and many Main Street programs around the state have programs/apps like what Ducharme is talking about, different platforms are available. The Main Street program has mini grant funds through DOLA, this is something that would be in the wheelhouse of the Main Street. That would be helpful to have a partnership with Main Street, Visitor's Center and the HPC. Francone (HPC Advisory member applicant) spoke about having his Denver historic home on a tour several years back, and enjoyed it, no damage done, they had volunteers in the house who took very good care of the house, over a thousand people came through. Ducharme mentioned how expeditiously this meeting was, he's been at City Council meetings where it was 10 pm before his agenda item came up, he thanked the HPC.

- B. Paul Mueller and Stuart Francone HPC Applications:** Paul Mueller and Stuart Francone were present and discussed their interest in joining the HPC. Staff (Tye) explained what the role of an Advisory Member on the HPC was, assisting the planning official and staff on whether or not an application is Substantial or Insubstantial and joining the planning official in pre-application meetings. Staff (LaChance) read from Leadville's Municipal Code Chapter 2.48 regarding the primary function of the Advisory Members is to participate with the city planning official in pre-application meetings. LaChance noted he does a lot of leg work to prepare for pre-application meetings, he can send that info out to the advisory member. Mueller (HPC Advisory member

applicant) introduced himself and wanted to clarify, so basically the advisory members look over the application materials and make a recommendation for the board or City Council to vote on. LaChance replied yes, and this was before the City had a planning official, but code still requires it. Staff (Tye) also added before we had a planning director, staff did not have the time to even discern whether an application was Insubstantial or Substantial, some summers we would have a lot of COAs, others not so many, but Mark Miller (current Advisory member) was very instrumental in helping Tye determine Insubstantial or Substantial. Miller noted he would get the application from Tye, look over the application and sometimes even go by the property and visually look at it and prepare a report. This was prior to an application going before the HPC, most times it was to determine IF the application needed to go before the HPC and City Council. Francone asked if we anticipated, with the new code changes, more COA applications. Spillman noted we should see more, staff (Tye) added theoretically yes, we should see more applications. Staff (Tye) also noted the increase in COA application would depend on how much we get the new code changes out to the public, so property owners realize they need to submit an application. That will take some marketing to make the public aware. LaChance noted any modification that requires a building permit will go to him for approval and he can flag that, if needed, to require the COA. LaChance agreed, it will take getting the information out to the public for there to be a substantial increase in COA applications. Francone asked how critical it was for the person in the advisory role to have a construction or building or formal academic historic preservation background. Edwards noted it was more of a common-sense background, he doesn't think having an architectural or building background makes any difference at all. Is the proposed change going to substantially change the way this house looks from the street. LaChance noted code says Advisory Members are not required to meet the qualifications that the HP Commissioners are required to have. Edwards noted again, How does this change effect the look of the neighborhood. Francone asked if the Advisory acts as more of a liaison between the commission and staff or; Edwards stated working hand in hand with staff. Tye noted that role actually does more with staff than the Commission, being a non-voting member. Martinek also noted we encourage all of us to keep our eyes open on work being done, that hasn't come before us. It's really helpful to have eyes out there. Martinek noted we know Mueller and Francone were interested in being on the Commission, but the opening we currently have is an Advisory member. She confirmed with Mark Miller he was staying on, he said yes. Edwards noted as an Advisory Member, they would be first in line if we needed an alternate, as alternates step into commissioner if we should lose an alternate. Staff will send follow up emails to make sure they are still interested in the Advisory Member role, and go from there. Mueller said his goal is to get to know more how the town works. Martinek thanked both Francone and Mueller for their interest and coming to this meeting.

- C. **140 E 8th St Review:** Staff noted a correction from last meeting when she said the deck was not above the roofline. It is definitely 2-3 feet above the roofline. Spillman added he walked by it before tonight's meeting and the floor of the deck is above the roofline. Martinek asked what we approved. The COA approved in 2021 has a drawing showing the deck above the roofline. There were no measurements included in the COA application showing how high the house currently is. Spillman recalls our discussion being different, staff asked if anyone remembered talking about the height of the existing structure and if this addition would take it over the 35 feet maximum. Discussion was around the questions we didn't know to ask. Staff reminded the Commission this modification/addition was not required to go before the HPC. LaChance noted the stamped plans submitted to the building department should have actual measurements/heights. He suggested we pull the Building Permit, Building Permit Approval form and the stamped plans from the county building department. Tye will request documents. Martinek asked what can we do? Edwards replied honestly, probably absolutely nothing, it's a good exercise for us and the building department at the county. Next time we will know what questions to ask, very specifically how high above the roof will the deck be. The Commission discussed this deck setting a precedence and

we should be careful going forward to make sure roof top decks are not above the house, but we also can't say no rooftop decks allowed. Another learning experience.

D. Website Updates: Spillman: This (in the packet) is a new version with a couple of changes added in. Added in HPC meetings are open to the public, public attendance and comments are welcome. Added the past winners for HPC awards and added LaChance as contact person for Certificates of Appropriateness (COAs) and Tax Credits. Edwards thanked Spillman; Martinek said it looked good. Staff (Tye) asked if all had a chance to review the changes, all had. There are links that need to be corrected, like the Frequently Asked Questions (FAQs), since we updated that as well. Spillman also noted we went past through current HPC minutes and Agendas in the drop-down boxes. Staff has added the accordion drop down boxes for those, just not put all past meetings in yet. Edwards asked if the City didn't have a City calendar with all meeting dates on it, maybe we could just put a link to the City calendar. Fladager commented on the Tax Credits, his accountant said he had no idea about the residential tax credits, could he contact Chapin for more information on that. LaChance noted he may not have much information on tax credits, History Colorado (State) might be a better resource. Bailey noted Colorado Preservation Inc (CPI) is another resource with information on tax credits. Staff asked if the Commission was ok with the FAQs, as the vote will be on the website updates as well as the FAQs. Spillman noted the FAQs stayed the same, except for the addition of "How do I know if my property lies within the Historic District". Staff would like an official Vote, as we have revised these updates a few times, staff wants to be sure everyone agrees. **Commissioner Edwards** moved that the Historic Preservation of Leadville website updates, with changes discussed at today's meeting, 7/25/23, be approved; Fladager seconded; **Vote was 5-0-0 in favor.**

E. State Historical Fund/Other Grant Options: Spillman: No real updates, but before next meeting he is going to start working the El Pomar and Summit Foundation applications. Should have a draft, hopefully by next meeting, but for sure by the second meeting in August. Spillman also noted the State Historical Fund (SHF) opens on August 1st, so he will start on that one as well. Staff asked Spillman when he will be gone for a few months, as the SHF is due October 1st. SHF has an option to submit a draft before the deadline and that is helpful. Hopefully Whittington will be at the next meeting and can continue the work while Spillman is out. Spillman will be out of state, but will be able to work on the grants.

Fladager had a comment – They are going to be starting to paint St George's church in the next week or two, hand scraping the paint off, if you get a chance to go by there and see how that goes. It should look really good when they are finished.

Spillman asked what are our modes of publicizing the code changes? Mayor was going to send out a newsletter, LaChance was going to write an article for the newspaper; Bailey can put something in the Main Street Newsletter. LaChance noted the Official adoption date is August 5th, he believes. We need to wait until after August 5th, when it is effective. Once Metcalf starts the survey process, they will have Open Houses, both happening at the same time, which will raise a lot of interest. Edwards suggested having the newspaper reach out to Metcalf while they are here, to do an article on the survey, which will again create the interest. Francone had a question on the survey process in regards to interior pictures and if Metcalf could take interior pictures to let people see the inside as well as the exterior of historic structures. Spillman said we could put something in the flyers we will be sending out; we will be asking if anyone knows any history of their house, we could also ask if anyone wants to submit interior pictures. Metcalf will not be going inside to take pictures, their scope of work will pertain only to the exterior, but staff or Martinek (works for the paper) might be able to, if the homeowner wanted. We should include that in the newsletter/flyer we send out.

2023 Goals

1. More Diversity in our Outreach

2. Historic Revitalization grants for prominent buildings on Harrison, to help preserve buildings that are rapidly deteriorating.
3. BE MORE VISABLE: Have open houses, get our logo out.
4. Summer Historic Tours – Added at 4/25/2023 meeting; discussed at 7/25/23 meeting

Martinek reminded the Commission there is a COA on next meeting's agenda.

Fladager welcomed LaChance back from paternity leave, congrats and welcome back!!

Motion to Adjourn: Spillman moved to adjourn; Edwards seconded; all present were in favor.

Meeting was adjourned at 5:19 pm.

Adjourned 5:19 pm

Regular Meetings: Twice a month for spring/summer season

Next Meeting: August 8th, 2023 – 304 W 7th Infill COA

**City of Leadville, Colorado
SERVICES AGREEMENT**

Service: Cultural Resource Survey

THIS SERVICES AGREEMENT ("Agreement") is made and entered into by and between the City of Leadville, a municipal corporation of the State of Colorado, with offices at 800 Harrison Avenue, Leadville, Colorado 80461 (the "City"), and Metcalf Archaeological Consultants, Inc., an independent contractor with offices at 11495 W 8th Ave, Suite 104, Lakewood, CO 80215 ("Contractor") (each individually a "Party" and collectively the "Parties").

For the consideration set forth in this Agreement, the receipt and sufficiency of which are acknowledged, the Parties agree as follows:

I. SERVICES

A. Description. Contractor will provide a Cultural Resource Survey for the west end residential area of the City ("Services"), which services are more fully described in Contractor's proposal attached to this Agreement as **Exhibit A**. **Exhibit A** is incorporated into this Agreement by this reference.

B. Term and Termination. This Agreement shall be effective on the date of its mutual execution by the Parties and shall continue until contractor completes the Scope of Services to the satisfaction of the City or until terminated as provided in this Agreement. The Parties may mutually agree to extend the term of this Agreement in writing pursuant to the amendment provisions of this Agreement. Either the City or the Contractor may terminate this Agreement by providing the other party with advance written notice of termination. The notice of termination shall state the date on which the Services shall terminate, which shall be no sooner than thirty (30) days following the date of the notice of termination. Within thirty (30) days of the date of termination, Contractor may submit a final invoice for all unpaid Services completed pursuant to this Agreement prior to the date of termination. The City will pay such final invoice within thirty (30) days of the date of the City's receipt of the final invoice. The City shall not be obligated to pay any invoice submitted by Contractor more than thirty (30) days after the date of termination.

II. COMPENSATION

A. Payment. In consideration for performance of the Services by the Contractor, the City shall pay Contractor an amount not to exceed twenty-nine thousand three hundred fifty-seven dollars (\$29,357) ("Contractor Fee").

B. Method of Payment. Contractor may invoice the City no more often than twice a month for Services completed. The City shall pay each invoice within thirty (30) days of the City's receipt of the invoice unless the Parties agree upon another time period in writing. Notwithstanding the foregoing, upon termination of this Agreement by one or both parties, the City shall pay the final invoice pursuant to Section I of this Agreement. All payments under this Agreement shall be by check made payable to Contractor. The City will mail payments via first class United States Mail to the Contractor's address listed on the first page of this Agreement.

C. Other Expenses. Any fee, cost, charge, or expense incurred by the Contractor not otherwise specifically authorized by this Agreement shall be deemed a non-reimbursable cost that shall be borne by the Contractor and shall not be billed or invoiced to the City and shall not be paid by the City.

III. INSURANCE

Contractor shall obtain and maintain the types, forms, and coverage(s) of insurance deemed by the Contractor to be sufficient to meet or exceed the Contractor's minimum statutory and legal obligations arising under this Agreement. Such insurance shall name the City as a Certificate Holder. Contractor shall provide the City with a certificate of insurance prior to the commencement of the services under this Agreement, and Contractor shall provide the City a copy of such insurance policy or policies upon request by the City. Contractor understands and agrees that the City's insurance does not provide coverage for Contractor. The Contractor's failure to obtain or maintain Contractor's own policies of insurance for the duration of this Agreement and for any travel or other activities related to the Services shall not limit, prevent, preclude, excuse, or modify any liability, claims, demands, or other obligations of the Contractor arising from performance or non-performance under this Agreement.

IV. INDEMNIFICATION

Contractor agrees to indemnify, defend, and hold harmless the City and its officers, insurers, volunteers, representatives, agents, employees, heirs and assigns from and against all claims, liability, damages, losses, expenses and demands, including reasonable attorney fees, on account of injury, loss, or damage, including without limitation claims arising from bodily injury, personal injury, sickness, disease, death, property loss or damage, or any other loss of any kind whatsoever, which arise out of or are in any manner connected with this Agreement if such injury, loss, or damage to the extent caused in whole or in part by, the negligent act, omission, error, professional error, mistake, negligence, or other fault of Contractor, or any officer, employee, representative, or agent of Contractor, or which arise out of a worker's compensation claim of any employee of Contractor.

V. MISCELLANEOUS

A. Independent Contractor. Contractor understands and agrees that Contractor shall perform its obligations under this Agreement as an independent contractor and not as an employee of the City. Contractor acknowledges that it is not on City's payroll or social security or tax withholding rolls. Notwithstanding any other provision of this Agreement, all personnel assigned by Contractor to perform work under the terms of this Agreement shall be, and remain at all times, employees or agents of Contractor for all purposes. Contractor shall make no representation that it is an employee of City for any purposes. The Contractor shall be solely responsible for all compensation, benefits, insurance and employment-related rights of any person providing services under this Agreement during the course of or arising or accruing as a result of any employment, whether past or present, with the Contractor, as well as all legal costs including attorney's fees incurred in the defense of any conflict or legal action resulting from such employment or related to the corporate amenities of such employment.

B. Governing Law and Venue. This Agreement shall be governed by the laws of the State of Colorado, and any legal action concerning the provisions of it shall be brought in Lake County, Colorado.

C. Integration and Modification. This Agreement constitutes the entire agreement between the Parties, superseding all prior oral or written communications. This Agreement may only be modified or amended upon written agreement signed by the Parties.

D. Notice. Unless otherwise provided in this Agreement, any notice under this Agreement shall be in writing, and shall be deemed sufficient when directly presented to a Party or sent via pre-paid, first-class United States Mail, to the Party at the applicable address set forth on the first page of this Agreement.

E. Severability. If any provision of this Agreement is found by a court of competent jurisdiction to be unlawful or unenforceable for any reason, the remaining provisions of this Agreement shall remain in full force and effect.

F. Assignment. Neither this Agreement nor any of the rights or obligations of the Parties, shall be assigned by either Party without the written consent of the other.

G. Rights and Remedies. Any rights and remedies of the City under this Agreement are in addition to any other rights and remedies provided by law. The expiration of this Agreement shall in no way limit the City's legal or equitable remedies, or the period in which such remedies may be asserted.

H. Binding Effect. The Parties agree that this Agreement, by its terms, shall be binding upon the successors, heirs, legal representatives, and assigns; provided that this Section V shall not authorize assignment.

I. No Third-Party Beneficiaries. Nothing contained in this Agreement is intended to or shall create a contractual relationship with, cause of action in favor of, or claim for relief for, any third party, including any agent, sub-consultant or subcontractor of Contractor. Absolutely no third-party beneficiaries are intended by this Agreement. Any third party receiving a benefit from this Agreement is an incidental and unintended beneficiary only.

J. Survival. Any terms and conditions of the Agreement that require continued performance, compliance, or effect beyond the Termination Date of the Agreement shall survive such Termination Date and shall be enforceable in the event of a failure to perform or comply, including but not limited to the following provisions: Sections IV (Indemnification) and V (A) (Independent Contractor), (B) (Governing Law and Venue), (G) (Rights and Remedies) and (K) (Attorneys' Fees).

K. Attorneys' Fees. If the Contractor breaches this Agreement, then it shall pay the City's reasonable costs and attorney's fees incurred in the enforcement of the terms, conditions, and obligations of this Agreement.

L. Annual Appropriation. Consistent with Article X, § 20 of the Colorado Constitution, any financial obligation of the City not performed during the current fiscal year is subject to annual appropriation, and thus any obligations of the City shall extend only to monies currently appropriated and shall not constitute a mandatory charge, requirement, debt or liability beyond the current fiscal year.

M. Agreement Controls. In the event a conflict exists between this Agreement and any term in any exhibit attached or incorporated into this Agreement, the terms in this Agreement shall supersede the terms in such exhibit.

N. Force Majeure. Neither the Contractor nor the City shall be liable for any delay in, or failure of performance of, any covenant or promise contained in this Agreement, nor shall any delay or failure constitute default or give rise to any liability for damages if, and only to extent that, such delay or failure is caused by “force majeure.” As used in this Agreement, “force majeure” means acts of God, acts of the public enemy, acts of terrorism, unusually severe weather, fires, floods, epidemics, quarantines, strikes, labor disputes and freight embargoes, to the extent such events were not the result of, or were not aggravated by, the acts or omissions of the non-performing or delayed party.

O. Protection of Personal Identifying Information. In the event the Services include or require the City to disclose to Contractor any personal identifying information as defined in C.R.S. § 24-73-101, Contractor shall comply with the applicable requirements of C.R.S. §§ 24-73-101, *et seq.*, relating to third-party services providers.

P. Authority. The individuals executing this Agreement represent that they are expressly authorized to enter into this Agreement on behalf of the City of Leadville and the Contractor and bind their respective entities.


Q. Counterparts. This Agreement may be executed in one or more counterparts, each of which shall constitute an original and all of which shall constitute one and the same document. In addition, the Parties specifically acknowledge and agree that electronic signatures shall be effective for all purposes, in accordance with the provisions of the Uniform Electronic Transactions Act, Title 24, Article 71.3 of the Colorado Revised Statutes.


[signature page follows]

THIS AGREEMENT is executed and made effective as provided below.

CITY OF LEADVILLE, COLORADO

**METCALF ARCHAEOLOGICAL
CONSULTANTS, INC.**

By: 

By: 

Printed Name: Laurie Simonson

Printed Name: Kimberly Kintz

Title: Leadville City Administrator

Title: Vice President/Operations Manager

Date of execution: July 19, 2023

Date of execution: 7/27/2023

ATTEST:


Hannah Scheer, Deputy City Clerk

STATE OF _____)
COUNTY OF _____) ss.

The foregoing Services Agreement was acknowledged before me this ____ day of _____, 2023, by _____ as _____ of _____, a _____.

Witness my hand and official seal.

My commission expires: _____.

Notary Public
(Required for all contracts (C.R.S. § 8-40-202(2)(b)(IV)))

EXHIBIT A

SCOPE OF WORK

Task A—Literature Review and Archival Research

Subtasks -

- Request file search through OAHP
- Review existing historic documentation
- Conduct research at City and County offices
- Conduct research at local institutions and repositories

Literature Review and Research

Prior to beginning fieldwork, Metcalf staff will conduct necessary preliminary research including a review of existing historic documentation in the project area, relevant survey and stabilization reports, and any documentation specific to the City of Leadville. This background research will provide a basic knowledge of the area as well as results of previously conducted work. Metcalf will obtain all available documentation and GIS data from OAHP.

To adequately evaluate the cultural resources within the survey area, staff will consult relevant primary and secondary source materials as well as state developed contexts, web guides, historic photos, and National Register documents. The Leadville Heritage Museum, Colorado Mountain History Collection at the Lake County Public Library, digital Sanborn Fire Insurance maps, and historic newspapers will also be utilized for historic research.

Task B – Fieldwork

Subtasks -

- Reconnaissance level survey of 108 properties

Fieldwork

Metcalf will conduct a survey of 108 identified properties at a reconnaissance level. The inventory will conform to the guidelines contained in *Colorado Cultural Resource Survey Manual: Guidelines for Identification* (OAHP 2007). Work will be conducted by Metcalf Architectural Historian, under the supervision of Principal Investigator, Jennifer Lee. Additional field staff, if utilized, will be directly supervise. Metcalf will record properties using relevant forms available from the Colorado OAHP, as described below. At minimum, on-site documentation will include locational information, written descriptions of each feature, dates of construction, historic associations and/or contexts, and an assessment of each of the seven aspects of integrity. Metcalf will include a preliminary evaluation of eligibility following criteria established in 36 CFR 60 and the guidelines provided in National Register Bulletin 15, *How to Apply the National Register Criteria for Evaluation*. Justification for the eligibility or ineligibility of a location will be discussed in the technical report with reference to the four Criteria for Evaluation (A through D), seven Criteria Considerations (A through G), and seven aspects of integrity.

Each property will be recorded by taking high quality digital images from the public right-of-way. Photographs will clearly show the subject building. If there are secondary structures associated with each site and they are not clearly visible in the image of the main house, additional photographs may be taken. Our Architectural Historian will document physical descriptions, note current property conditions, and make preliminary recommendations regarding the level of historic integrity retained by each property utilizing Metcalf's digital iPad workflow.

Task C—Survey Forms and Report Preparation

Subtasks -

- Complete 108 reconnaissance survey forms
- Write technical report
- Submit draft forms and report to HPC
- Revise drafts and prepare final forms and report
- Submit final forms and report to HPC

Following the survey, Metcalf will complete 108 reconnaissance survey forms using OAHP templates as noted above. Metcalf has confirmed that OAHP no longer requires a separate form for secondary buildings on properties recorded at the reconnaissance level. Primary buildings will therefore be recorded on a Historical and Architectural Reconnaissance Form and ancillary buildings will be included in a table at the end of the form. Each draft form will be submitted to the HPC and OAHP for review. Metcalf will revise and finalize the forms in response to received feedback.

Historical and Architectural Reconnaissance Form (OAHP Form 1417)

Metcalf will record each property on a Colorado Cultural Resources Inventory Historical and Architectural Reconnaissance Form (OAHP Form 1417). This form is intended to provide the basic descriptive record of a single building, structure, or site sufficient to make a preliminary assessment of architectural significance and/or identify potential areas of historical significance only and will not result in a formal evaluation of historical significance in reference to the NRHP Criteria. Data collected for each property will include: legal location, street address and parcel information, UTM reference, property name, resource classification, current property owners, description of basic construction features, historic function and date of construction, potential areas of significance, site photographs, maps, and assessment of integrity.

Technical Report

Following the completion of OAHP Forms, Metcalf will provide a technical report for submission to, and approval by the HPC and OAHP. The report will include a cover page, abstract, table of contents, list of figures, list of tables, introduction, project background, historic context, and site descriptions and evaluations. Completed forms will be included as an appendix to the report, as will a complete set of digital and historical photographs, and maps for each building. Final deliverables will be submitted in an electronic format.

To achieve quality control and assurance at Metcalf, the North and East End Residential Architecture Survey report will go through intensive review by both the project Architectural Historian and the Principal Investigator prior to submittal. Review will ensure the report satisfies the requirements of the OAHP and displays technical competence, is grammatically sound, and is compiled in a manner consistent with the project.

If Metcalf receives any comments from the HPC or OAHP on the draft technical report, we will make the necessary edits and submit a final digital copy.

Cost Proposal and Project Assumptions

Metcalf's cost estimate to complete the City of Leadville's West End Residential Architecture Survey (archival research, fieldwork, survey forms, and reporting) is **\$29,357**.

This proposal is predicated on several assumptions

- The cost and scope of work is based on information provided by the City of Leadville in an email dated November 3, 2022.
- Scope and costs assume on-going coordination and communication with the City of Leadville.
- All fieldwork will be conducted from the public right-of-way and will not require or involve access to private property or structure interiors.
- Metcalf will use its own equipment and resources, including digital cameras and ArcGIS software for in-house GIS processing.
- Mileage cost is based on the current state rate of \$0.56 per mile and is subject to change.
- One (1) round of review addressing the comments of the City of Leadville.
- One (1) round of review addressing the comments of OAHF staff.



Historic Preservation Commission Staff Report

Subject: Ross-Ricketts Single-Family Dwelling, Infill Residential (Certificate of Appropriateness for Substantial Modification, Public Hearing)

Application #: PL-2023-008

Proposal: The applicant proposes to construct a new single-family dwelling unit on a vacant lot. A Certificate of Appropriateness for demolition of the previously existing home was approved by the city in 2022, and the previously existing home has since been demolished.

Legal Description: Stevens and Leiter Subdivision, Block 52, W. ½ Lot 2, Lot 3

Address: 304 W. 7th St.

Date: August 8, 2023

Application Manager: Chapin LaChance, AICP - Comm. Dev. and Planning Director

Applicant: Jacquelynn “Kaati” Ross

Property Owner: Jacquelynn Ross and Chris Ricketts

Lot size: 0.10 acres (4,356 sq. ft.)

Zoning District: Traditional Residential (R-2)

Historic District: Yes

Site Conditions: Per the provided topographic survey, the site drops approximately 30 ft. in elevation from the rear alley to W. 7th St. at an average grade of approximately 25%. Remnants of stone retaining walls are visible on the southern half of the lot, as well as remnants of a timber retaining wall which crosses the eastern lot boundary. Concrete walls and wooden steps exist near the southeastern lot corner, and a collapsing wooden fence runs along the western side of the property, approximately 4 to 6 ft. from the southern property line. A large evergreen tree is located near the northern property line, but it is unknown to staff if the tree’s trunk is location on the subject property or the neighboring property to the east.

Adjacent Uses: Single-family residences are adjacent on all sides.

Site Photos



Image 1 (Above): Satellite image with the property's location highlighted in red.

Image 2 (Below): Historic District boundary map excerpt, showing the property's location highlighted in red.





Image 3 (Above): Looking north at the property from W. 7th St.

Image 4 (Below): Looking south at the property from the rear alley.



History

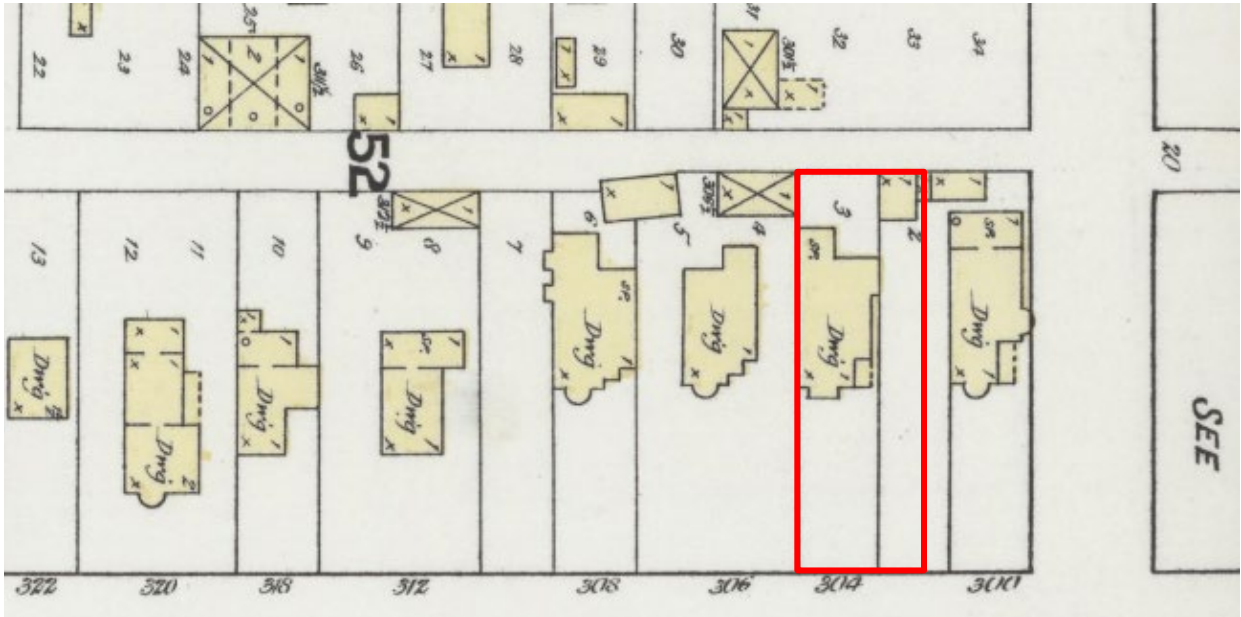


Image 5 (Above): 1889 Sanborn fire insurance map excerpt, with property highlighted in red.

As can be seen from the Sanborn map, the four (4) historic homes on Lots 1-6 were aligned towards the rear of the lot, very likely due to the steeply sloping topography in the area.

Staff Comments

The applicant proposes to construct a three-story, 3,702 sq. ft. single-family residence on a vacant lot. The applicable [code criteria](#) and [Residential Infill Design Guidelines and Standards](#) are provided below in *italics* text, with staff's comments regarding compliance provided in **bold** text.

17.44.060 - Procedures for issuing a certificate of appropriateness (COA) except demolitions.

D. In deciding whether to issue a COA, the historic preservation commission and city council shall take into consideration the criteria contained in Section 17.44.050(D) and the following additional criteria:

- 1. Reasonable efforts shall be made to provide for uses of a structure that require minimal alteration and redesign of the structure; N/A. The historic structure was previously demolished.*
- 2. The distinguishing original characteristics of a structure and its relationship to the environment shall not be destroyed and the removal or alteration of any historic material or architectural features shall be avoided when possible; N/A. The historic structure was previously demolished.*
- 3. Architectural changes that have taken place to a building since its construction often acquire significance in their own right and this significance shall be recognized and respected; N/A. The historic structure was previously demolished.*

4. *Distinctive stylistic features or skilled craftsmanship that characterize or are in evidence on a structure shall be treated with sensitivity and preserved whenever possible; N/A. The historic structure was previously demolished.*

5. *Deteriorated architectural features shall be repaired rather than replaced whenever possible and when replaced, the new material shall match the material being replaced in composition, color, texture and shape in so far as feasible; N/A. The historic structure was previously demolished.*

6. *Cleaning and restoring exterior surfaces shall be undertaken with the least possible disruptive methods; sandblasting and similar techniques that damage historic exterior surfaces shall be discouraged; N/A. The historic structure was previously demolished.*

7. *Additions and alterations to a structure shall be undertaken in a manner such that if the addition or alteration were removed in the future, the essential form and integrity of the original structure would be undamaged; N/A. The historic structure was previously demolished.*

8. *All structures shall be recognized as products of their own time and place. Alterations or new structures with no historical basis and that seek to artificially create an earlier appearance shall be discouraged; The proposed structure takes traditional residential construction features found in Leadville, such as gable roofs, hip roofs, porches, and rectilinear buildings forms, and blends them in a combination that identifies itself as current construction, since these features were not blended in the manner proposed. (Example: Gable roofed secondary module as primary façade transitioning to hipped roofed primary module as secondary façade.) See question for Commission under Policy 10 – Architectural Character discussion. **Complies pending Commission’s response to question.***

9. *Contemporary style structures, alterations and additions shall not be discouraged so long as they are compatible with the size, scale, texture and color of the existing structure and/or existing structures in the area; Staff finds the design of the proposed residence to be of a traditional design, not contemporary.*

10. *The unique historical and visual appearance of Leadville, as it exists at the present, shall be honored and protected in so far as possible. Staff finds that Leadville’s residential character, which consists predominately of structures that are simple in form and detail, is honored by the proposed design through the use of traditional residential construction features, while protected through appropriate height, scaling and massing. **Complies.***

Residential Infill Design Guidelines and Standards

1. Policy: Relationship to Site Context

The sloping topography and open pattern of development in the treatment area provides most buildings with solar exposure and views of the mountains. Smaller, lower buildings located on the alleys traditionally allowed views and solar exposure of the nearby primary residences. These assets shall be preserved for as many sites as feasible.

A. CAREFULLY relate new construction to buildings that contribute to the historic neighborhood context.

1. New projects shall be compatible with the historic character of the Leadville NHL District as well as those buildings directly adjacent to the project. Neighborhood context is essential to determining compatibility.

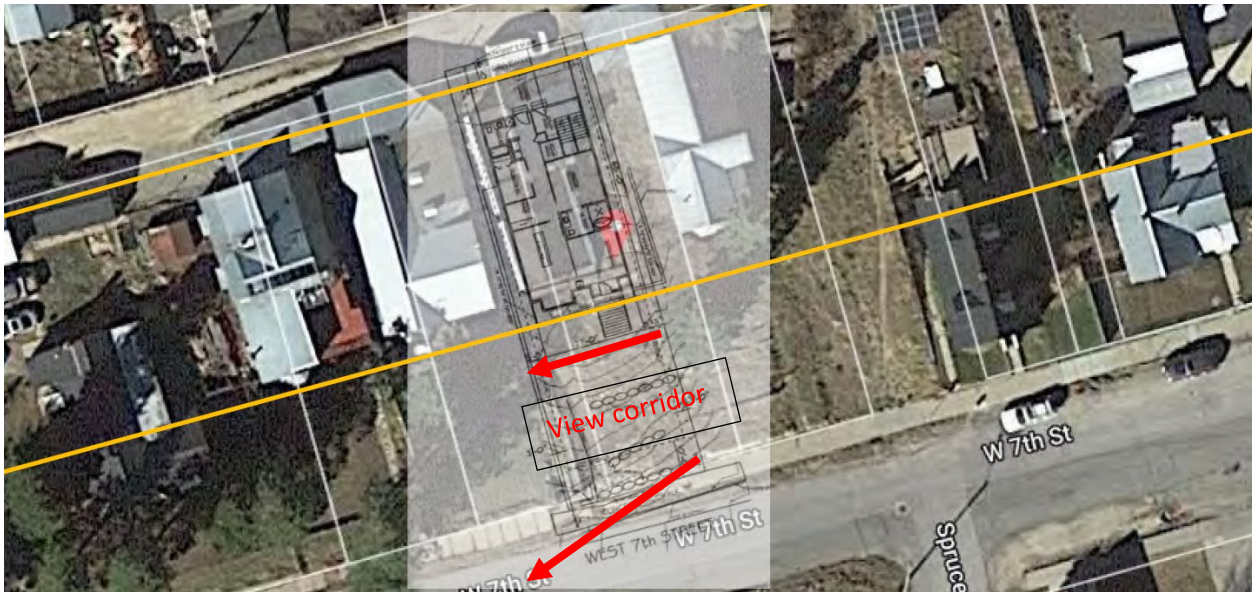
2. Historic proportions of height, width and depth are very important to be compatible with the historic mass and scale of the NHL district and the city. Compatibility with the traditional mass, scale and building materials of the area is especially important.

The residence is proposed to be located on the rear half of the lot, abutting the required 6 ft. setback. This location aligns with the location of the historic structures on the adjacent properties. With a narrow, 27 ft. width, and a long, 65 ft. length, the proportions and orientation of the structure perpendicular to the street are similar to the adjacent historic homes. **Complies.**

2. Policy: Views

Views to natural and historic features abound in Leadville and should be preserved. Of special importance are the views to the mountains and historic landmarks that contribute to the city's unique setting.

*A. Position a new building so that view corridors are preserved. Existing view corridors include views to the southwest towards Mt. Massive and Mt. Elbert. Considering the proposed residence is sited to rear of the lot, the front half of the lot is open to view corridors from lots to the east. **Complies.***



3. Policy: Site Planning

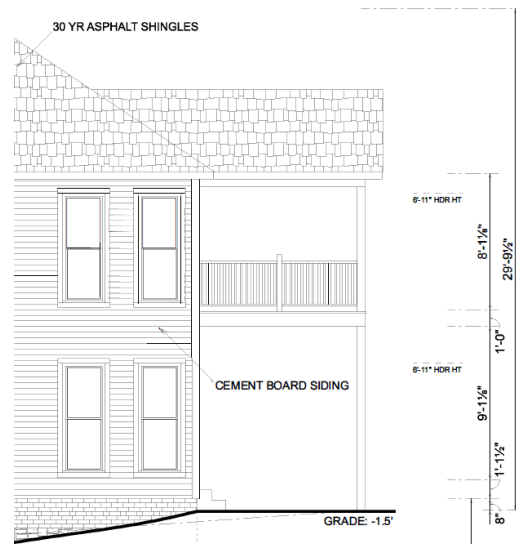
A new project can significantly affect neighboring properties. Such impacts include views, solar access and snow shedding.

A. Coordinate the site plan of individual building lots with those of adjacent properties.

1. *Unusual setbacks may be appropriate when they help protect views to significant features.*
 - a. *Consideration for views shall come from within, through and outside the site.*
 - b. *Consider seasonal factors, such as snow accumulations or dense foliage.*
 - c. *Maintain views along alleys by keeping buildings small in scale.*
2. *Minimize the number of driveways, parking and service areas through cooperative planning with adjoining properties. This helps reduce the visual impacts of these elements on the neighborhood.*

The residence is sited in the rear half of the lot, within the required rear and side setbacks. The rear porch and parking area do abut the rear 6 ft. setback with a two-story covered parking area and covered porch with gabled roof, but the building steps down towards the alley and is open-aired, which staff finds is much more acceptable than a 35 ft. building with a three-story wall abutting the 6 ft. rear setback. The applicant does not propose an enclosed garage, which further reduces the massing and visual impact of the proposed structure.

Complies.



4. Policy: Building Orientation

Traditionally, a building was oriented with its primary wall planes in line with the parcel's property lines. Since most buildings were rectangular in form, this siting pattern helped reinforce the image of the city grid.

A. Maintain traditional patterns of building orientation by respecting a property's lot lines. This applies to both primary and alley structures.

B. Orient the primary entrance of a building toward the street.

1. *Clearly define the primary entrance using such things as porches on residential structures.*
2. *Rear or side entrances should be secondary to the front.*

The proposed residence is oriented perpendicular to the front and rear lot lines, and parallel to the side lot lines. The primary entrance faces W. 7th St., defined by a traditional small gabled porch.

Complies.

5. Policy: Building Setbacks

Most front façades align at a relatively uniform setback from the street in each block. The rhythm created by the placement of buildings and side yards are an especially important feature. This historic development pattern contributes to the visual continuity of the NHL District

A. Maintain the alignment of building fronts along the street.

1. Setbacks shall fall within the established range of setbacks in the NHL District.

B. Side yards should match the dimensions of historic yards on the street.

1. Side yards were traditionally three feet or greater in width.

2. Spacing between buildings should be similar to that seen traditionally.

3. Natural conditions may influence setbacks. Steep slopes, hillsides, river and creek edges and wetlands are examples of site constraints that may require special setback conditions.

4. Give special consideration to corner lots.

C. Decks, balconies and porches shall not significantly encroach into front and side yard setbacks.

The applicant has provided an illustration demonstrating that the proposed residence will maintain the front setback alignment with the other homes in the area which are also sited to the rear of the lots due to the steep topography in the front yards. Per the Sanborn maps, homes on this block were historically sited either central to the lot or spanning the entire width of the lot. The applicant proposes to centrally locate the residence between the two required side yard setbacks. There are not any proposed encroachments into the historic setbacks or required zoning setbacks. **Complies.**

6. Policy: Parking Design

For the majority of the period of significance the primary transportation vehicle was the horse and carriage. The associated site and building features were the barn, stable carriage house, and drives. The accommodations for automobiles of driveways, garages, and parking areas require sensitivity to visual impacts and the historic transportation mode.

Care should be taken to provide pedestrian circulation that does not conflict with vehicular circulation.

A. Screen parking areas from street view with site features.

B. Design parking areas should be accessed from alleys or rear drives rather than from the primary street. Parking facilities such that they are subordinate to other site features.

1. In a residential context, the use of a detached garage, located along the alley, is especially encouraged.

2. If parking is located within a garage, minimize the size of the driveway.

3. *An on-site parking area should be located inside or behind a building, where its visual impacts will be minimized, unless site conditions (such as steep slopes) prevent this arrangement.*
4. *Minimize the surface area of paving and consider using materials that blend with the natural colors and textures of the region. Options include: modular pavers, gravel and grasscrete or concrete.*
5. *Curb cuts and driveways should be minimal in width and shared when feasible.*
6. *Design the parking layout so all spaces are accessible and usable year-round.*

The off-street parking area is proposed to be located at the rear of the lot, accessed from the alley, which is preferred. Two (2) parking spaces are proposed, which will be partially covered by the rear porch. Minimal driveway is proposed off of the rear alley.

Complies.



7. Policy: Mass and Scale

A variety of building styles occur in this area but a similarity of forms, materials and scale still prevails. Projects that include a primary building with subordinate secondary structures reinforce the city's historic character. In addition to a few institutional structures and boarding houses, buildings range from small, wood frame single family cottages to larger single-family homes as well as some boarding houses and a few institutional structures. Most buildings are simple in design, although some ornamentation was used historically. The smaller houses tend to exhibit very few details, reserving ornamentation for porches and eaves. Larger houses show more ornamental detail, however, even these are modest overall. A limited range of detail is an important characteristic of the area.

Traditionally, exterior wall materials were horizontal wood siding, with the exception of a few brick homes. Stone was used occasionally for foundations and fireplaces. Decorative shingles were sometimes applied to eaves and dormers.

Buildings were often expanded over time, resulting in additions to the rear. Usually, these stepped down in scale from the main structure. Attic spaces were sometimes expanded by adding dormers. Other functions were accommodated in secondary structures such as barns and sheds, which were detached and located at the rear and accessed by an alley.

The limited combination of roof forms found on many buildings creates a sense of cohesion across city. Virtually all are simple gabled or hip roofs and are often steeply pitched, in response to snow conditions. Wood shingles and metal were used on the roofs of many early buildings. Standing seam metal is frequently used along with rolled sheet metal and asphalt shingles.

Traditionally, a limited mix of small and large building sizes existed in the area. Even on larger lots where larger buildings occur, the traditional building scale is preserved.

A. Maintain the traditional perceived scale of buildings.

1. The tradition of one- and two-story street façades shall be continued.

B. New construction shall appear similar in mass and scale to historic structures found traditionally in the NHL District.

C. Break up the massing of larger buildings into components. A larger building may be divided into modules that reflect the traditional scale of construction.

1. Modules should be expressed three dimensionally by having significant architectural changes.

2. Step down the mass of larger buildings to minimize the perceived scale at the street.

3. Historic proportions of height, width and depth are important features to be compatible with the historic mass and scale.

4. Building elements shall be in scale with the overall mass of the building.

E. Roofs shall be similar in scale to those used historically on comparable buildings.

1. The length of a roof ridge shall not exceed those seen historically on comparable buildings.

Height: The proposed structure is actually three (3) levels, but the building steps down towards W. 7th St. from the main hipped roof through a secondary 1-story gable, and then a covered porch and bay window. As perceived from W. 7th St., the building appears as a 1 ½ story facade with a secondary 2 story component in the rear, due to the topography. The lower level is completely hidden from view.



Stepping down: The proposed street-facing gable is consistent with street-facing gables on three (3) of the nearest other homes along W. 7th St. The rear of the home also features a gabled roof covering the porch that steps down towards the alley from the higher hipped roof. The massing of the rear of the building is also reduced by the openness of the covered upper and lower porch. The length of the primary hipped roof's ridge is reduced by the stepping down with the front and rear facing secondary gables.



Modules: Staff finds that there are possibly two (2) modules proposed: A primary rectangular module for the majority of the building, and a secondary rectangular module under the front-

facing gable and porch. However, this building is difficult to perceive as multiple module components reflecting the traditional scale of construction. Does the Commission have concerns about the building's massing number modules? **Complies**, pending the Commission's response regarding the number of modules.

8. Policy: Building Form

The traditional residential building form consists of a simple rectangular mass with a gabled or hipped roof. Additions are usually located to the rear of the main building and step down in scale from the central mass. It is the combinations of these shapes that establish a neighborhood's scale. These forms shall be preserved, in their height, width and depth, throughout the _NHL District. New construction that does not respect these forms could diminish the integrity of the _NHL district.

A. Use building forms similar to those found traditionally.

- 1. Vertically oriented, rectangular shapes are typical and are encouraged.*
- 2. Building forms that step down in scale to the rear of the lot are encouraged.*

The proposed residence features a combination of a primary rectangular mass with a primary hipped roof with secondary gabled roofed masses that step down towards the front and rear. Somewhat of a vertical orientation is obtained through the combination of the porch and the two (2) secondary, forward-facing gabled roofs. The building is certainly not horizontally oriented.

Complies.



9. Policy: Roof Form

Roofs of similar shapes reoccur in the NHL District. Gabled roofs, generally oriented with the ridge perpendicular to the street, and hip roofs are typical. Shed roofs occur most frequently on rear additions and secondary structures.

The size, shape and type of roof shall be similar to those found traditionally in the city. Consideration of environmental and climatic determinants such as snow and ice shedding, drainage and solar exposure shall also be integral to the roof design.

A. Use Traditional Roof Forms

- 1. Sloping roof forms, such as gable, hip and shed, shall be the dominant roof shapes. These forms shall be symmetrically designed. Avoid flat roofs and barreled roofs.*

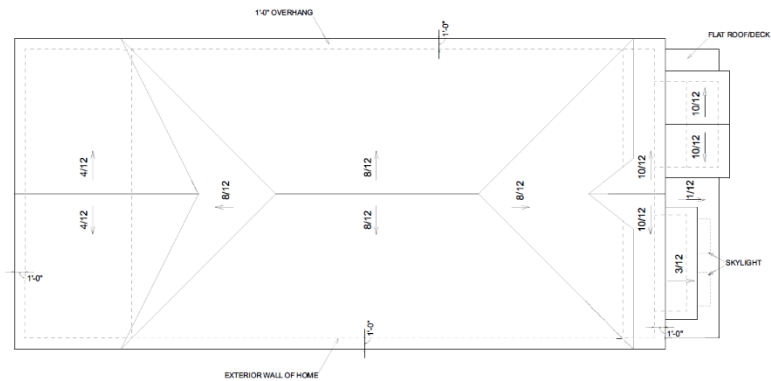
2. Traditional roofs are simple and steeply pitched and most have hip or gable ends facing the street. Many primary roofs had pitches of 15:12 or steeper; although some as low as 8:12 were found. Shed roofs had a wider range of pitches, from 1:12 to 15:12.

3. Orient ridgelines parallel with the floor planes.

4. Orient ridgelines perpendicular to the street when feasible.

B. Chimneys should be similar in size and position to those found historically.

An 8/12 hipped roof is proposed as the primary roof form, with secondary gabled roofs, all perpendicular to the street. All ridgelines are parallel with the proposed floor plans. The front secondary gables are proposed at 10/12, and the rear secondary gable, hidden from the street, is proposed at 4/12. **Complies.**



10. Policy: Architectural Character

Traditionally, buildings in Leadville were simple in character. This is a fundamental characteristic that is vital to the preservation of the historic integrity of the city. Regardless of stylistic treatment, a new building shall appear simple in form and detail. Buildings also shall be visually compatible with older structures in the NHL District without being direct copies of historic buildings.

A. Respect the sense of time and place in all projects.

1. Exact interpretations of a point of time in the past are discouraged.

B. New interpretations of traditional building styles are encouraged, such that they are seen as products of their own time, yet compatible with their historic neighbors.

1. New designs shall draw upon the fundamental traits of historic buildings without copying them. This will allow them to be seen as products of their own time yet compatible with their historic neighbors.

2. The exact copying of or replication of historic styles is discouraged.

3. Applying highly ornamental details that were not a part of a building in Leadville is inappropriate. Elaborate Victorian ornamentation, which is atypical in Leadville, is not allowed.

4. Historic details that were not found in Leadville are not allowed.

5. Historic details that are authentic to Leadville are discouraged, to maintain a distinction between a new project and the historic building.

C. Avoid stylistic details that confuse the history of Leadville.

Staff finds that the proposed architecture is simple in character, with the only ornamentation and detail proposed at the front gabled roofs as follows: 1) the half-round accent siding under the gables, 2) the bracketry under the gables, and 3) the trim detail at the eaves. The proposed structure is not a replica of a historic building or highly ornamented. With the front gabled/main hipped roof combination, the house can be interpreted as a product of its own time. Does the Commission find the proposed structure is appropriately ornamented, and a product of its own time? **Complies.**

11. Policy: Building Components

Projecting elements, such as dormers, bays, stairs, chimneys and cornices, help to provide visual interest to a building and can influence its perceived scale. These features shall be compatible in size, shape and type with those found in historic buildings and should be treated as an integral part of the building design.

A. Building components shall be similar in scale to those used historically.

1. Decks in rear yards may be larger if in proportion to the site and structure.

B. Bay and oriel windows should fit below the cornice or roofline and be subordinate elements.

1. Cornice lines should not be broken by other building elements.

C. Awnings may be used on residential buildings if limited in size, scale and quantity.

D. Porches are especially characteristic of the treatment area. Although a wide variety of design details for porches are found, the basic organization of the porch as an entry element is important and should be preserved.

1. The use of a porch is encouraged in a residential context.

2. A porch should be covered by a roof.

3. A porch should be of a substantial size to function as more than an entry landing, but should be similar in mass and scale to those found historically.

4. Place the height of porch decks at an elevation similar to those found historically when feasible.

5. Porches should have a finished (painted) appearance.

The proposed design features a rectangular bay window that is in approximately the same location as the rectangular bay window on the previously demolished historic residence, and is located in approximately the same location on the proposed residence as the curved bay windows on the three (3) nearest homes on W. 7th St. See the Sanborn map earlier in this report, which shows the bay windows on all four of these homes. The design also features a gable roofed porch with identifies the entry landing. The rear covered 10 ft. x 27 ft. (270 sq. ft.) deck is proportionate to the proposed residence, at approximately 15% of the structure's overall length. **Complies.**

12. Policy: Pattern of Building Materials

The pattern created by the unit size of the materials (bricks, siding, shingles, etc.). Application shall be similar to those materials used traditionally in city and in the treatment area. These shall be configured in combinations that express human scale.

A. Materials shall appear similar in scale, texture and finish to those used traditionally.

- 1. A hierarchy of building materials shall be used, with heavier coarser materials used as foundations and more refined materials used above.*
- 2. The dimensions of brick units, clapboard siding and other building materials should be similar to those used historically.*
- 3. Exterior wood finishes shall be painted in colors designated on any Historic Color Palette or in rustic natural wood stains and finishes.*

B. Maintain the existing range of exterior wall materials found in the NHL District. Reuse of existing materials is encouraged. A mix of wood frame, stone and brick construction is typical.

- 1. Foundation finish materials may include stone, concrete, board formed concrete, wood lattice and vertical boards. A clear distinction between foundation and wall material should be present. Clapboard siding should not extend to the ground.*
- 2. Appropriate materials for primary structures include horizontal and vertical siding, shingles (in limited applications), and brick.*
- 3. The lap dimensions of siding should be similar to those found traditionally. Masonry unit sizes should also be similar to those found traditionally.*
- 4. Siding materials not allowed include stucco, reflective materials such as mirrored glass or polished metals and rustic shakes.*
- 5. Corrugated metal and other acceptable metal siding may also be considered on structures and foundation skirting.*

C. Roof materials shall appear similar to those used traditionally.

- 1. Fire retardant wood shingles and shakes are appropriate for most building types.*

2. Metal sheeting, corrugated metal, or standing seam metal roofs with a baked-on paint finish are generally appropriate. Metal roofs should have matte finishes but must minimize glare.

3. Asphalt shingles in muted colors and rolled roofing may be considered.

D. New substitute materials may be considered, if they appear similar in character and detailing to those used traditionally on Leadville's residential structures.

1. New materials must have a demonstrated durability in this climate and have the ability to be repaired under reasonable conditions.

2. Details of hard board and cementitious siding, and their joints, should match that of traditional wood siding.

Staff is generally supportive of the proposed materials and their proposed application. The applicant proposes the following exterior materials:

- **Stone wainscot (foundation cladding)**
- **Repurposed brick cladding (transition band above foundation cladding)**
- **Fiber cement board lap siding with 4 inch. reveal (primary siding)**
- **Fiber cement half round shingle accent siding (front façade accent siding)**
- **Fiber cement staggered edge panel accent siding (bay window accent siding)**
- **Fiber cement trim, fascia, and soffit**
- **Composite windows**
- **Asphalt shingle roofing**

The proposed fiber cement siding has a demonstrated durability in the high elevation climate and is proposed at historically appropriate dimensions. Some additional exterior materials need to be specified on the plans. Staff requests feedback from the Commission regarding using both stone and brick as cladding material in a horizontally stacked application. While both of these materials are used throughout the historic district and the repurposing of the historic brick is encourage, both of these materials are typically not applied as they are proposed with this application. Staff would be more comfortable with the stone as the foundation cladding material and the brick used as an accent cladding only in specific areas, such as surrounding the deck supports and the stairs. Does the Commission agree?

Staff recommends the following Conditions of Approval, to be met prior to issuance of a Building Permit:

- **Deck railing materials shall be specified on the final plans and approved by the Planning Director.**
- **Roofing material and color shall be specified on the final plans and approved by the Planning Director.**
- **Colors shall be specified from the 2016 Historic Color Guide and approved by the Planning Director.**

- **The final plans shall only specify stone as the primary foundation cladding material, with brick used as an accent cladding in specific locations.**

Complies with Conditions of Approval.

13. Policy: Windows

Windows are some of the most important character- defining features of most structures. They give scale to buildings and provide visual interest to the façade's or elevation's composition. Distinct window designs often define many historic building styles. They were commonly inset into relatively deep openings or they have surrounding casings and sash components with substantial dimensions. These cast shadows that significantly contribute to the character of the building.

Traditionally, buildings of the same type had common window-to-wall proportions. This helped contribute to the sense of continuity in the neighborhood. This ratio of open surfaces (windows and doors) to enclosed surfaces (walls) of the building exterior should be similar to that seen in the NHL District area. The ratio of the height-to-width of door and window openings also should be compatible with buildings found traditionally in this treatment area.

A. Windows should be of a traditional size and relate to a pedestrian scale.

- 1. Windows should be simple in shape, arrangement and detail.*
- 2. Unusually shaped windows, such as triangles and trapezoids shall be considered as accents only and limited to one per building façade or elevation.*
- 3. The number of different window styles should be limited.*

B. The window-to-wall ratio should be similar to that seen on comparable historic buildings in the treatment area.

- 1. Large surfaces of glass are inappropriate on residential structures and shall not be allowed.*
- 2. If necessary, divide large glass surfaces into smaller windows that are in scale with those seen traditionally.*

C. Windows with vertical emphasis are encouraged.

- 1. A general rule is that the height should be twice the dimension of the width.*
- 2. Windows with traditional depth and trim are preferred.*

D. The placement and grouping of windows shall be similar to that seen historically.

E. Windows should be finished with trim elements similar to those used traditionally.

- 1. Divided lights should be formed from smaller muntins integral to the window. True divided lights may be used. Pop-in muntins are inappropriate.*

F. Skylights should be limited in number and size.

- 1. Skylights should be located in areas that minimize visibility, not break or penetrate a ridgeline, and be limited in number.*
- 2. Skylights shall be sized in proportion to the roof area, but should not cause excessive light spill. Light fixtures within the skylight should also not cause light spill.*
- 3. Tubular daylighting devices may be used but should be limited in number.*

There are several types of windows proposed, but the majority of the windows are vertically oriented, single-hung windows that are well spaced, providing for an appropriate solid to void ratio. The primary façade features a bank of three (3) single-hung windows in the bay window, a vertically oriented single-hung window on each side of the second story primary façade, and two (2) square gliding windows in the lower level. The primary façade also features a singular circular accent window underneath the gable, which is acceptable. The only non-vertically oriented windows are located on the south façade and in the lower basement level, some below finished grade. The two (2) proposed skylights for the lower level on the front deck will not be visible from the street. There are not any large expanses of glass proposed. **Complies.**

14. Policy: Doors

A door, which is often an important character-defining feature, gives scale to a building and provides visual interest to the composition of a building's primary façade.

A. Maintain the traditional pattern of doors along streets and alleys.

- 1. All buildings that face the street should have a well-defined front entrance.*
- 2. Openings should be similar in location, size and type to those seen traditionally. The entrance should be at, or near, grade level.*
- 3. A garage door should be designed to minimize the apparent width of the opening.*
- 4. The material and detailing of garage doors should be utilitarian, to be compatible with nearby sheds when located on an alley, or detailed as part of the building if located on the front.*

B. Doors should be designed and finished with trim elements similar to those used traditionally.

The front door is proposed to be located facing the street and well defined through a covered porch on the front deck, and is shown as a 2/3 divided light door. Staff recommends that the amount of glass in the front door and adjacent windows be reduced to less than 1/2 light to be more historically appropriate.



15. Policy: Utilities

Utilities that serve properties may include telephone and electrical lines, ventilation systems, gas meters, fire protection, telecommunications and alarm systems.

A. Minimize the visual impacts of utilities and service equipment.

- 1. Provide adequate space for utilities that does not abut the public right-of-way.*
- 2. Locate utilities in the rear of a property when feasible and screen them from major pedestrian routes.*
- 3. Minimize the visual impacts of vents and exhaust hoods by integrating them into the building design and finish to match the adjacent surface.*
- 4. Vents for direct-vent fireplaces shall not be installed on the building front and should be finished to match the adjacent surface.*
- 5. Screen from view rooftop appurtenances, such as mechanical equipment and antennas.*

No utility information is specified with this application, as is typical with this preliminary phase of the design and planning process. Staff recommends a Condition of Approval that prior to issuance of a Building Permit, utility information shall be specified on the final construction plans and comply with Policy 15. Utilities. **Complies with Condition of Approval.**

16. Policy: Energy Conserving Design

Using energy conserving designs that are also compatible with the historic character of the community is encouraged. Any project proposing to use active or passive solar energy should be energy efficient in design. The conservation of all resources should be a primary concern.

A. Consider solar designs on the structure.

1. Integrate glass areas for energy collection into the overall building design. Design glass areas to be a composition of windows similar in character to those seen traditionally, rather than a large continuous surface of glass.

2. Avoid blocking the solar and view exposures and minimize glare onto neighboring properties.

3. Roof-mounted panels shall not extend above the ridgeline. They shall be integrated in the structure and as flush with the roof pitch as possible. Solar shingles or laminated solar panels are preferred.

Staff finds that all sides of the home are specified to have an appropriate amount of glazing to achieve passive solar gain, without creating an inappropriate solid to void ratio. Complies.

Questions for the Commission

1. Does the Commission support the proposed residence's massing and number of modules?
2. Does the Commission find the proposed structure is appropriately ornamented, and a product of its own time?
3. Does the Commission support staff's recommended Conditions of Approval?

Recommendation

Staff has evaluated this application for compliance with Chapter 17.44 of the Leadville Municipal Code and the Residential Infill Design Guidelines and Standards. Pending the Commission's responses to the questions above, staff finds the proposal is substantially in compliance. Staff recommends the Historic Preservation Commission recommend the City Council approve the Certificate of Appropriateness for the Ross-Ricketts Single-Family Dwelling Infill Residential, PL-2023-008, located at 304 W. 7th St., along with the attached Findings and Conditions.

Recommended motion: *"I move the Historic Preservation Commission recommended the City Council approve the Ross-Ricketts Single-Family Dwelling Infill Residential, PL-2023-008, located at 304 W. 7th St., along with the attached Findings and Conditions."*

CITY OF LEADVILLE

**Ross-Ricketts Single-Family Dwelling Infill Residential
Stevens and Leiter Subdivision, Block 52, W. ½ Lot 2, Lot 3
Certificate of Appropriateness
PL-2023-008**

FINDINGS

1. The proposed structure is a product of its own time and place.
2. The proposed structure is compatible with the size, scale, texture and color of the existing structures in the area.
3. The unique historical and visual appearance of Leadville, as it exists at the present, will be honored and protected in so far as possible.
4. This approval is based on the staff report dated **August 8, 2023** and findings made by the City Council with respect to the project. Your project was approved based on the proposed design of the project and your acceptance of these terms and conditions imposed.
5. The terms of approval include any representations made by you or your representatives in any writing or plans submitted to the City of Leadville, and at the hearing on the project held on **August 8, 2023** and **August 15, 2023** as to the nature of the project. In addition to Commission minutes, the audio of the meetings of the Commission are recorded.

CONDITIONS

1. This permit does not become effective, and the project may not be commenced, unless and until the applicant accepts the preceding findings and following conditions in writing and transmits the acceptance to the City of Leadville.
2. If the terms and conditions of the approval are violated, the City, in addition to criminal and civil judicial proceedings, may, if appropriate, issue a stop work order requiring the cessation of work, revoke this permit, or require removal of any improvements made in reliance upon this permit. The payment of any costs incurred by the City related to enforcement actions related to violations of this permit shall be the sole responsibility of the applicant and shall constitute a lien on the property.
3. The terms and conditions of this permit are in compliance with the statements of the staff and applicant made on the staff report and application.
4. This permit contains no agreement, consideration, or promise that a certificate of occupancy or certificate of compliance will be issued by the City. A certificate of occupancy or certificate of compliance will be issued only in accordance with the City's planning requirements/codes and building codes.
5. **Prior to issuance of a Building Permit,**
 - a. **deck railing materials shall be specified on the final plans and approved by the Planning Director,**

- b. roofing materials and colors shall be specified on the final plans and approved by the Planning Director,**
- c. exterior paint colors shall be specified from the 2016 Historic Color Guide and approved by the Planning Director,**
- d. utility information shall be specified on the final construction plans and comply with Policy 15. Utilities, and**
- e. the final plans shall only specify stone as the primary foundation cladding material, with brick used as an accent cladding in specific locations.**

ROSS/RICKETTS RESIDENCE

304 W 7th STREET
LEADVILLE, CO 80461

SHEET INDEX:

A1.0 COVER SHEET & NOTES
A1.1 SITE PLAN
A2.0 MAIN FLOOR PLAN
A2.1 SECOND FLOOR PLAN
A3.0 FOUNDATION PLAN
A3.1 ROOF PLAN
A4.0 FRONT & REAR ELEVATIONS
A4.1 LEFT ELEVATION
A4.2 RIGHT ELEVATION

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OWNER CURRENT ADDRESS
JACQUELYNN ROSS & CHRISTOPHER RICKETTS
1636 S ROSEMARY ST
DENVER, CO 80231

PROJECT:
ROSS/RICKETTS RESIDENCE
304 W 7th STREET
LEADVILLE, CO 80461

SHEET TITLE:
COVER SHEET

LANDMARK

HOME AND LAND COMPANY INC.
FINANCING & MATERIALS FOR OWNERS/BUILDERS
Phone: 800-830-9788 Fax: 800-964-2821
www.LHLC.com

JOB NO:
23-11

DRAWN BY:
MJF

DATE:
06/12/2023

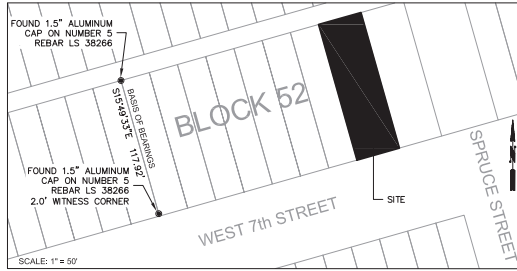
ENGINEER:

SHEET NO:
A1.0

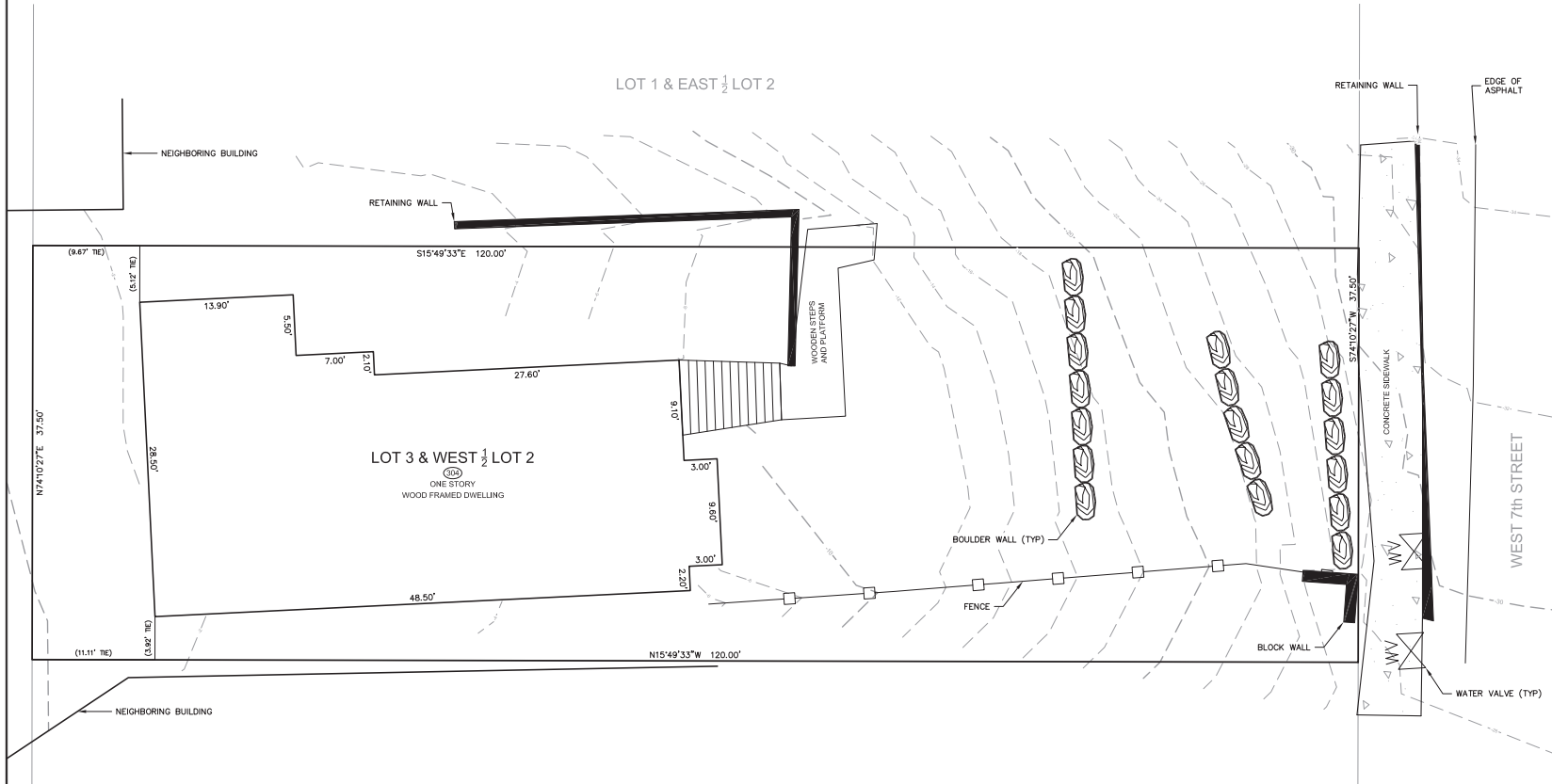
IMPROVEMENT LOCATION CERTIFICATE

LOT 3 & WEST $\frac{1}{2}$ LOT 2, BLOCK 52, STEVENS & LEITERS SUBDIVISION

Section 23, Township 9 South, Range 79 West of the 6th Principal Meridian
County of Lake, State of Colorado



LOT 1 & EAST $\frac{1}{2}$ LOT 2



LEGAL DESCRIPTION

Lot 3 and West $\frac{1}{2}$ Lot 2, Block 52, Stevens and Leiters Subdivision of US Survey No. 271, recorded on February 17, 1879 at Reception No. 164 at the Office of the Clerk and Recorder, County of Lake, State of Colorado.

NOTES:

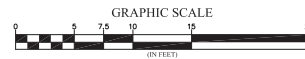
- 1) Survey Date: December 7th, 2021.
- 2) This Survey does not constitute a boundary survey nor any investigation into record easements or encumbrances associated with this property. No Title Commitment was supplied to the Surveyor.
- 3) Utilities are shown approximately and should be field verified prior to excavation.
- 4) March Engineering LLC does not warrant or certify to the integrity of any Digital Data supplied in conjunction with this map and survey.
- 5) STREET ADDRESS: 304 W 7th Street (posted).
- 6) This is not a monumented survey, Land Survey Plot, or Improvement Survey plot. No boundary resolution was performed in making this survey. All lot lines, setback lines, and easement lines shown hereon should be considered approximate and should not be relied upon for the placement of any future improvements.

I, Thomas S. March, a Professional Land Surveyor in the State of Colorado, hereby certify that this IMPROVEMENT LOCATION CERTIFICATE was done by me or under my direct supervision, and that it was performed using the standard care and practice used in the area at the time of the survey. The Notes hereon are a part of this certification.

Thomas S. March, PLS 37999
Colorado Professional
Land Surveyor



NOTICE: According to Colorado law you MUST commence any legal action based upon any defect in this survey within three years after you first discovered such defect. In no event, may any action based upon any defect in this survey be commenced more than ten years from the date of certification shown hereon.

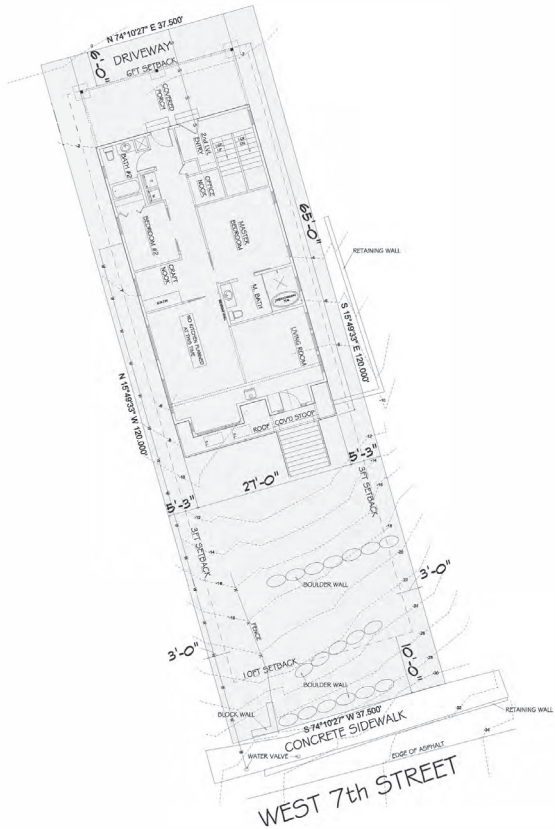


| IMPROVEMENT LOCATION CERTIFICATE LOT 3 & WEST $\frac{1}{2}$ LOT 2, BLOCK 52, STEVENS & LEITERS SUBDIVISION County of Lake, State of Colorado | |
|---|--------------------|
| DRAWN BY: PST | DATE: 12/09/2021 |
| CHECKED BY: JRC | DRAWING NO.: 21178 |
| JOB NO.: 21178 | SHEET: 1 OF 1 |

MARCIN ENGINEERING LLC

P.O. BOX 1062
AVON, CO 81620
(970) 748-0274
(970) 748-9021 FAX

APPRAISAL AND BUDGETING PLANS, NOT FOR CONSTRUCTION



SITE PLAN
SCALE: 1" = 10'

LOT SIZE = 4,500 SF
TOTAL FOOTPRINT OF HOME, CARPORT, PORCH & STAIRS = 1,749 SF
TOTAL LOT COVERAGE = 1,749 SF / 4,500 SF X 100% = 38.9%
OPEN SPACE PERCENTAGE = 61.1%

PROJECT:
ROSS/RICKETTS RESIDENCE
304 W 7th STREET
LEADVILLE, CO 80461

SHEET TITLE:
SITE PLAN

LANDMARK

HOME AND LAND COMPANY INC.
FINANCING & MATERIALS FOR OWNERS/BUILDERS
Phone: 800-830-9788 Fax: 800-964-2821
www.LHLC.com

JOB NO:
23-11

DRAWN BY:
MJF

DATE:
06/12/2023

ENGINEER:

SHEET NO:
A1.1

ALL WINDOW SIZES ARE
ROUGH OPENING SIZES
UNLESS OTHERWISE NOTED.

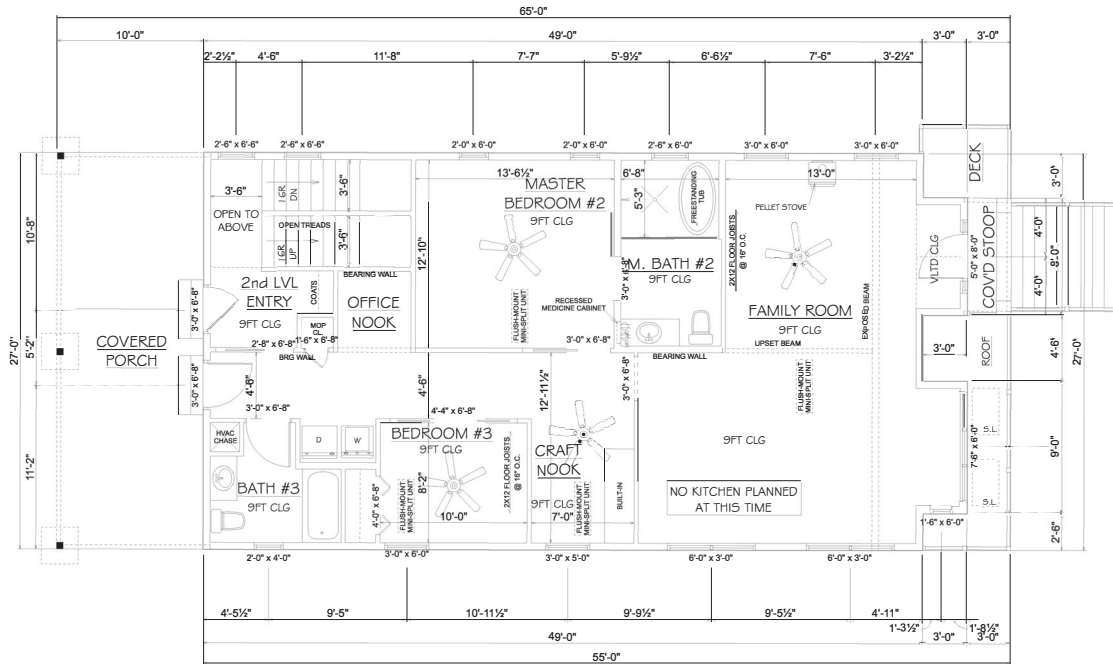
WINDOWS SHALL BE TEMPERED GLASS OR MULTI-LAYERED
GLASS OR GLASS BLOCK OR WINDOW SYSTEMS HAVING A
FIRE PROTECTION RATING OF NOT LESS THAN 20 MIN.
GLAZING FRAMES MADE OF VINYL SHALL HAVE WELDED
CORNERS, METAL REINFORCED IN THE INTERLOCK AREA.

THIS IS NOT AN ADU

MAIN LEVEL: 1,374 SF
SECOND LEVEL: 1,151 SF
LOWER LEVEL: 1,177 SF
TOTAL: 3,702 SF

COVERED PORCH: 270 SF
COVD STOOP: 24 SF

APPRAISAL AND BUDGETING PLANS, NOT FOR CONSTRUCTION



MAIN FLOOR PLAN

SCALE: 1/4" = 1'

PROJECT:
ROSS/RICKETTS RESIDENCE
304 W 7th STREET
LEADVILLE, CO 80461

SHEET TITLE:
MAIN FLOOR PLAN

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JOB NO:
23-11

DRAWN BY:
MJF

DATE:
06/12/2023

ENGINEER:

SHEET NO:
A2.0

WINDOWS SHALL BE TEMPERED GLASS OR MULTI-LAYERED GLASS OR GLASS BLOCK OR WINDOW SYSTEMS HAVING A FIRE PROTECTION RATING OF NOT LESS THAN 20 MIN. GLAZING FRAMES MADE OF VINYL SHALL HAVE WELDED CORNERS, METAL REINFORCED IN THE INTERLOCK AREA.

[illegible]

SCALE: 1/4" = 1'

PROJECT: ROSS/RICKETTS RESIDENCE
304 W 7th STREET
LEADVILLE, CO 80461

SHEET TITLE: SECOND FLOOR PLAN

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JOB NO: 23-11

DRAWN BY:

MJF

DATE: 06/12/2023

ENGINEER:

SHEET NO:
A2.1

ALL WINDOW SIZES ARE
ROUGH OPENING SIZES
UNLESS OTHERWISE NOTED.

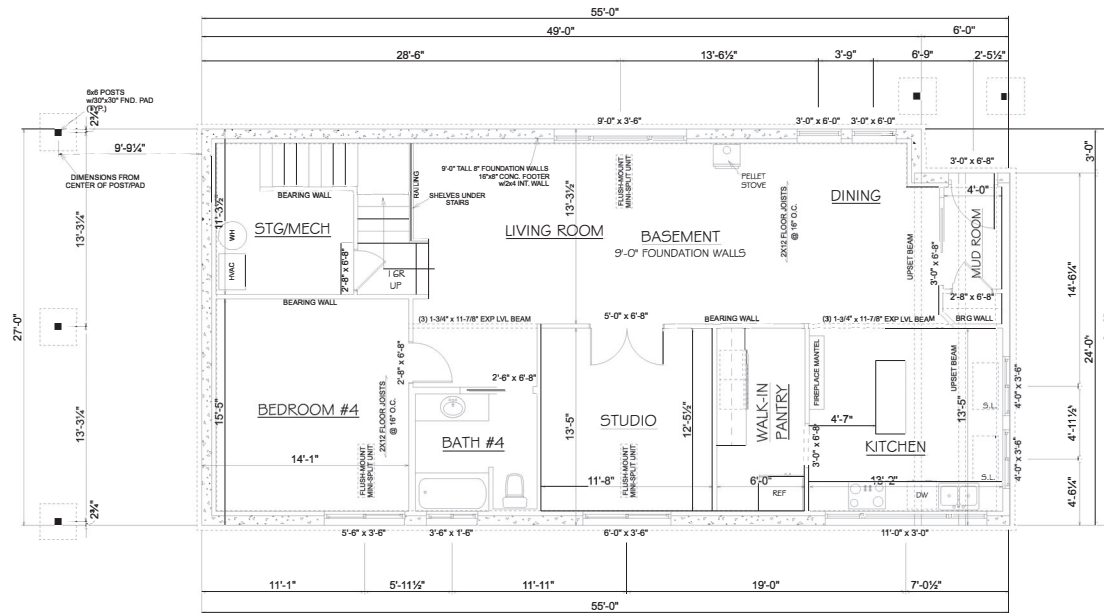
WINDOWS SHALL BE TEMPERED GLASS OR MULTI-LAYERED
GLASS OR GLASS BLOCK OR WINDOW SYSTEMS HAVING A
FIRE PROTECTION RATING OF NOT LESS THAN 20 MIN.
GLAZING FRAMES MADE OF VINYL SHALL HAVE WELDED
CORNERS, METAL REINFORCED IN THE INTERLOCK AREA.

FIREPLACES WITH GAS
APPLIANCES ARE REQUIRED
TO HAVE THE FLUE DAMPER
PERMANENTLY FIXED IN THE
OPEN POSITION AND
FIREPLACES WITH LPG
APPLIANCES ARE TO HAVE
NO "PIT" OR "SUMP"
CONFIGURATIONS.

WATER HEATERS TO HAVE A
MIN. OF 2 STRAPS TO
RESIST HORIZONTAL
DISPLACEMENT. USE A
MIN. OF 3/4" X 24 GAUGE
STRAPS WITH 1/4" X 3" LAG
BOLTS ATTACHED DIRECTLY
TO THE FRAMING.

BASEMENT TO BE
CONDITIONED

APPRAISAL AND BUDGETING PLANS, NOT FOR CONSTRUCTION



FOUNDATION PLAN

SCALE: 1/4" = 1'

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PROJECT:
ROSS/RICKETS RESIDENCE
304 W 7th STREET
LEADVILLE, CO 80461
SHEET TITLE:
FOUNDATION PLAN

LANDMARK
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JOB NO:
23-11

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MJF

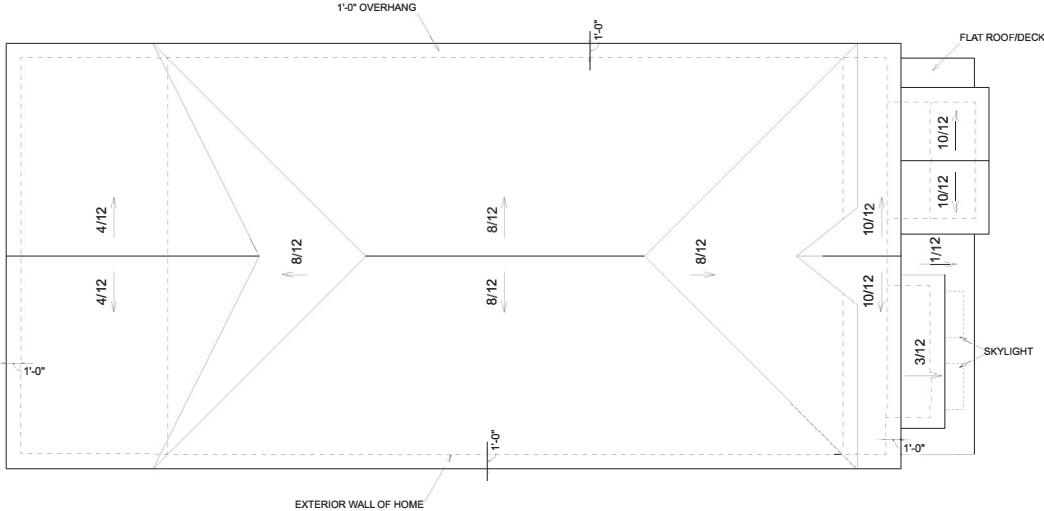
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06/12/2023

ENGINEER:

SHEET NO:
A3.0

APPRAISAL AND BUDGETING PLANS, NOT FOR CONSTRUCTION

ATTIC TO BE UNCONDITIONED
UNLESS SPECIFIED OTHERWISE



ROOF PLAN
SCALE: 1/4" = 1'

PROJECT:
ROSS/RICKETTS RESIDENCE
304 W 7th STREET
LEADVILLE, CO 80461

SHEET TITLE:
ROOF PLAN

LANDMARK

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FINANCING & MATERIALS FOR OWNERS/BUILDERS
Phone: 800-830-9788 Fax: 800-964-2821
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JOB NO:
23-11

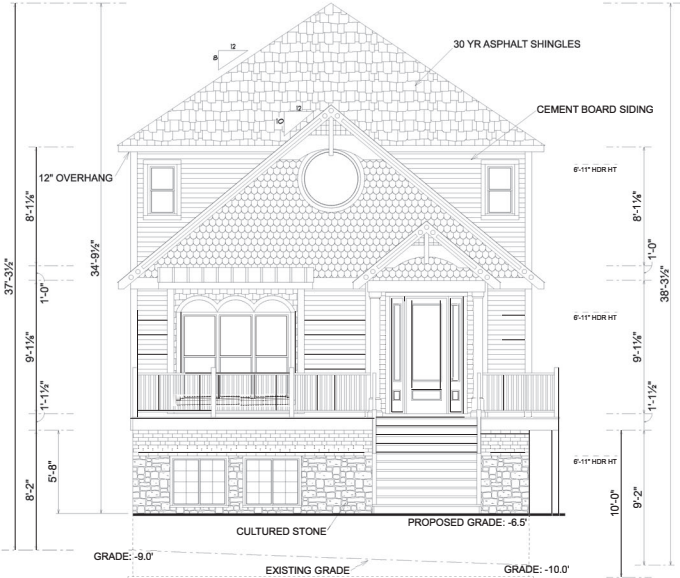
DRAWN BY:
MJF

DATE:
06/12/2023

ENGINEER:

SHEET NO:
A3.1

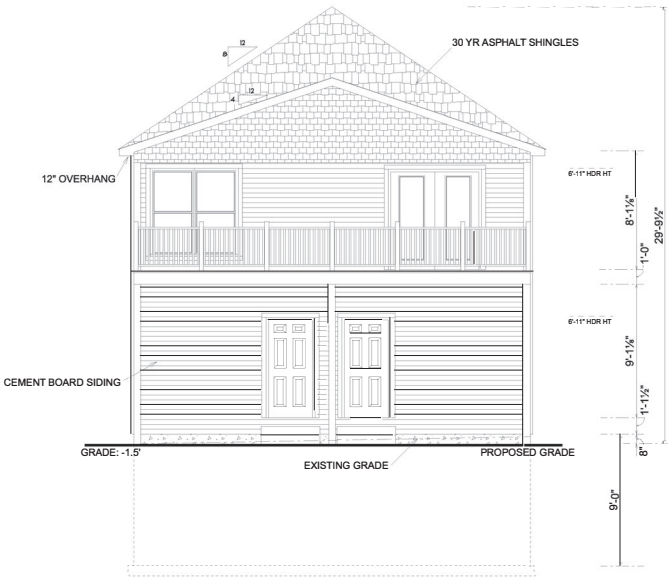
APPRAISAL AND BUDGETING PLANS, NOT FOR CONSTRUCTION



FRONT ELEVATION

SCALE: 1/4" = 1'

AVERAGE DISTANCE FROM GRADE TO ROOF PEAK:
 $(29'-9 \frac{1}{2}" + 38'-3 \frac{1}{2}") / 2 = 34'-0 \frac{1}{2}"$



REAR ELEVATION

SCALE: 1/4" = 1'

PROJECT:
ROSS/RICKETTS RESIDENCE
304 W 7th STREET
LEADVILLE, CO 80461

SHEET TITLE:
FRONT & REAR ELEVATIONS

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JOB NO:
23-11

DRAWN BY:
MJF

DATE:
06/12/2023

ENGINEER:

SHEET NO:
A4.0

APPRAISAL AND BUDGETING PLANS, NOT FOR CONSTRUCTION

AVERAGE DISTANCE FROM GRADE TO ROOF PEAK:
 $(29'-9 \frac{1}{2}" + 38'-3 \frac{1}{2}") / 2 = 34'-0 \frac{1}{2}"$



LEFT ELEVATION

SCALE: 1/4" = 1'

PROJECT:
ROSS/RICKETTS RESIDENCE
304 W 7th STREET
LEADVILLE, CO 80461
SHEET TITLE:
LEFT ELEVATION

LANDMARK
HOME AND LAND COMPANY INC.
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JOB NO:
23-11

DRAWN BY:
MJF

DATE:
06/12/2023

ENGINEER:

SHEET NO:
A4.1

APPRAISAL AND BUDGETING PLANS, NOT FOR CONSTRUCTION

AVERAGE DISTANCE FROM GRADE TO ROOF PEAK:
 $(29'-9 \frac{1}{2}" + 38'-3 \frac{1}{2}") / 2 = 34'-0 \frac{1}{2}"$



RIGHT ELEVATION
SCALE: 1/4" = 1'

PROJECT:
ROSS/RICKETTS RESIDENCE
304 W 7th STREET
LEADVILLE, CO 80461
SHEET TITLE:
RIGHT ELEVATION

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23-11

DRAWN BY:
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DATE:
06/12/2023

ENGINEER:

SHEET NO:
A4.2



Site Plan Google Maps Overlay:
House with rear deck/carport (yellow lines)

Street View: Before



Street View: After









Written Statement to the Leadville Historic Preservation Commission

Kaati Ross, owner of 304 W. 7th St., Leadville CO

kaatirossdenver@gmail.com

303-476-8670

Why we ❤️ Leadville:

We are a multi-generational family who love Colorado!

We have been considering moving to a smaller mountain community for many years. On our wish list we wanted to find a community that was down-to-earth, not too chic or high-end; we wanted a place where we felt we would fit in, a place not politically extreme, a place with access to healthcare, and place not too far from Denver where we own a home and have a business office. Importantly, we wanted a place that wasn't hot and crowded. We believe Leadville is the perfect place to settle and get to know people. Our hobbies include making music, weaving, hiking with our dogs, paddleboarding, gardening, antiquing, and volunteering. We hope there will be opportunities to participate in community volunteering and to truly become a part of Leadville. We don't want to have a vacation home in Leadville. We plan to spend most of our time here (Maybe we'll take a couple warm weather breaks in the winter, though.)

I've been interested in Colorado history since childhood. I've been to many small museums and homesteads. From seeing Doc Susie's actual medicine satchel at the at the Cozens Ranch House Museum in Fraser to drinking fresh cider from a press in the root cellar at the Hornbek Homestead in Florissant, I have seen and enjoyed many historic sites in Colorado. For a local history nerd like me, Leadville is a treasure trove! I am thrilled that Leadville is a National Historic District and is dedicated to keeping the history of this place alive and flourishing. It would be devastating to see Leadville go the way of so many other Colorado communities with sprawl, unsightly architecture, and no sense of time or place. I believe the work of the Historic Preservation Commission is vitally important to the future of Leadville.

I visited Leadville as a child. My family camped at Turquoise Lake, and my uncle (a serious rockhound) took us crystal hunting. Leadville is part of our Colorado family history. It will be a privilege to be able to call Leadville our home.

The design philosophy behind our New Build Design:

Since the initial home design that we presented to the HPC last year, we have done a complete re-design based upon feedback we received from Chapin LaChance. The original design was two and a half stories plus a cellar. Due to the nature of our lot, that design would have towered over the street and would have overwhelmed the adjacent dwellings. During a conversation with Chapin, the idea was floated to move a large portion of the house underground and to build a false façade that would give the overall impression of a smaller less imposing home that visually steps back from the street. Working with our home designers, we've created what we believe is a beautiful design that fits into the narrative of the historic district in Leadville while still maintaining a unique aspect. We have worked to consider all the residential infill guidelines in designing our home.

We designed a multi-generational home that will be comfortable for myself, my husband, my mother, and elderly stepfather. The main floor is designed to be ADA compliant and is on one level with the hope that it will be a convenient place for my parents to age in place. The guest room on their floor would be able to be used for a live-in nurse if necessary (One reason we chose this property in Leadville is for the proximity to a hospital.)

Because of the shape of the property and sharp drop off where previous retaining walls have failed, we are unable to locate the house in such a way that we can have a full-sized parking structure in the rear of the building without being too far forward on the lot which would cause us to exceed height allowances and block neighboring views. Instead, we've designed a rear deck which will provide partial coverage for our vehicles.

Working within the height allowances posed a challenge because the height is calculated by the average of the current lot dimensions and grade, not how the land will be when it is levelled and graded to make building possible. Because of the sharp drop-off in the front of the lot, extra care was taken to place the home on the lot in a spot that would allow us to have the basement windows above ground for better lighting. From the rear of the house appears to be a two-story home. From the front at street level, it should also appear to be two stories. Only when ascending the walkway in the front yard should the 5 feet of exposed basement wall come into view.

Despite the many changes to the original design, the exterior design of the house still mimics the pre-existing structure and landscape on the property in several ways:

- 1) The pre-existing structure had a cellar that was not visible from the street level. We intend for the basement level to be barely visible from street level both because of steep pitch of the lot but also because we would like to raise the grade by a couple feet in the front of the house to level out the upper portion of the terraced yard.
- 2) The entry steps are on the right side of the front façade.

- 3) The façade front roof is peaked at the front.
- 4) The most prominent front window is divided into three panes.
- 5) The brick cladding for the basement will be made from bricks that are on the property both under the house and in the old retaining walls. It seems there was an older brick house on the property at some point in time. We'd like to excavate and use as many of those bricks as is possible.

We've attempted to create a house plan that is not ostentatious, would fit in with the surrounding environs, doesn't dwarf the surrounding buildings, and is pleasant to the eye. While trying to emulate the historic feel of Leadville we have also kept in mind the HPC's mandate that the home should appear to be from its own time not an exact historical replica.

The exterior design incorporates windows in the style and dimensions referenced in the residential infill guide and a clearly delineated and visible front porch entry. After a suggestion from the study session with the HPC earlier this year, we extended the front porch roof to the edge of the steps.

To provide light in the basement while still maintaining a traditional appearance from the street, we've created a faux front porch to the left of the covered front porch entrance. In reality, the left side of the front porch is a pitched roof with skylights that will allow us to have a well-lit basement kitchen. A railing will extend from the front door to the edge of the steps to keep people from walking onto the roof and skylights. The roof and skylights will be completely hidden from street view due to the steep pitch of our lot and the decorative railing on the front of the porch.

The included aerial views indicate that the home would not obstruct corridor views as it does not come farther forward than other homes on the street.

The mass and scale of the building is meant to have the same visual impact as other homes in the historic district while also providing a great deal of interior space. The home is 27 feet wide which will keep it within the allowed setbacks for the property which is a 1 ½ lot (37 ½ feet wide) property.

The utilities are currently located at the rear of the property, and it would be our intention to keep them at that location. The redesign of the home did minimize the amount of passive solar heat we will be able to utilize to heat the home, but we've designed an HVAC system that is heavily reliant on the newest most efficient, low-energy heat pump heating systems (brochure enclosed.) For the coldest days, we would have supplemental heating from pellet stoves on each floor. We plan to install tankless water heaters and radiant floor heating in the bathrooms. Our goal is to find a way to incorporate solar energy using solar roof tiles on the hip roof section in the future, but we have placed our first focus on utilizing efficient energy systems.

The colors we have chosen are inspired from an inspiration photo of a Victorian style home:



SW 7630
Raisin
Locator Number: 252-C3

SW 6710
Mélange Green
Locator Number: 148-C4

SW 2902
Elderberry

SW 6384
Cut the Mustard
Locator Number: 130-C7

SW 6385
Dover White
Locator Number: 261-C2

The siding will be 5.25 inch (4 inches exposed) narrow, paintable cement board siding (brochure enclosed). We will use shake and half round siding as accents. The roof will be asphalt shingles. The color of the roofing has not yet been determined as we will need to see

the samples with the paint colors in situ before deciding, but we are leaning towards the traditional red asphalt shingles that we have seen on many of the older homes in Leadville.

Our hardscape landscape design plan includes three rebuilt retaining walls creating three terrace areas in the front yard as well as stairs at the street level. The retaining walls would be composed of local granite of a size and shape similar to what is already found on the property. Gently pitched walking paths would switchback on each terrace. We would like to plant native plants and grasses and a small kitchen garden.

Additionally, with permission, on each side of the home, we would like to change the grade in to create sloping side yards with entry and exit stairs using outer retaining walls. The grade would remain the same on the property lines. We would like to have the recessed area be a sort of extra-large window well for the basement rooms plus a useable outdoor space including an enclosed side yard for our dogs. This would be similar to what is pictured below, but only four feet wide. The proposed grades in relation to the existing grade are pictured on our elevation plans. The front yard (streetside) would be higher than the side yard at the side door entrance with steps coming down to access the side entrance.



The major theme with this house is historically appropriate exterior appearance while creating a comfortable interior with modern amenities. We hope that the time we've spent considering and then reconsidering each aspect of the design comes through in what we are presenting to you.

Thank you again for your consideration and your service on the HPC board!

Sincerely,

Kaati Ross & Family

Additional Caveats and considerations:

- Currently the home is designed as a single-family home, but we hope to separate the main floor from the top floor and basement and add a kitchen to the main floor at such time that the zoning density rules change to accommodate that revision. We've designed the home so a future rezoning would allow my parents to have a separate apartment on the main floor. Even further out, we've designed the home so that future owners can make the basement a separate apartment and use the main floor and second floor as a primary residence. We realize the current layout is unorthodox, but my mom didn't want to live in a basement!
- Our lot has evidence of previous retaining walls that have slowly disappeared and slid down the hillside. As such, the existing grade is not the historic grade of the lot. We'd like to rebuild those walls thus reverting the shape of our lot to what it was previously.



STUART FRANCONI

LETTER OF INTEREST – LEADVILLE HISTORIC PRESERVATION COMMISSION – ADVISORY MEMBER

316 W 8th St. Leadville, CO | 720-854-5146 | stuartfranconi@gmail.com
<https://www.linkedin.com/in/stuart-franconi-7a960611>

7/26/23


Marcia Martinek, Director
Leadville Historic Preservation Commission
Leadville, CO 80461

Dear Marcia Martinek, and Leadville Historic Preservation Commissioners:

Please accept this letter expressing my interest in joining the Leadville Historic Preservation Commission (HPC) as a non-voting Advisory Member. I believe in your mission and am passionate about the work being done by the HPC to preserve and protect the historic significance of Leadville. I know that I could make a significant contribution.

I have been looking for a meaningful way to expand my participation and support of our community. A position with the HPC would provide me with this opportunity. I believe that the following credentials demonstrate a unique set of life experiences and educational background that would be an asset to the Commission.

- Colorado native with deep roots in both Park and Lake Counties
- Homeowner in Leadville for 14 years
- Graduate of the University of Wisconsin with degrees in Natural Resource Management, Soil Science and Environmental Land Restoration.
- Passionate about Leadville's history and the preservation of our historic structures. I have owned four historic homes (one in Leadville) over the past 30 years and have worked meticulously to preserve their original character. For example, I spent three months researching replacement windows for a 1935 classic Tudor home to ensure the aesthetic presence of new windows matched the original. Although I have yet to complete any formal education in historic preservation, I have a keen sense of historically appropriate design including windows, siding, roof lines, porches, overall scale, etc. By combining this passion for historic structures with common sense, I believe I can work effectively with Leadville city staff to advance the HPC mission.
- Graduate of an 18-credit hour Nonprofit Certification Program at MSU-Denver. Course work included an overview of nonprofit organizations, the roles and responsibilities in nonprofit organizations, financial management, grant writing, fund raising, and how to build a sustainable nonprofit.
- Currently researching university-level historic preservation certificate programs.
- Extensive background in reading, interpreting, enforcing, and advising clients regarding federal, state and local statutes and regulations.
- Support person for the historic preservation work being contemplated at St. Georges Episcopal church in Leadville.

- 
- Recently stepped down as an eight-year Board member of Leadville's Cloud City Conservation Center (C4) including serving as Vice Chair. I have gained valuable nonprofit experience through my work with this organization and have seen the important role nonprofit organizations have in our community.
 - Retired after a 30-year career as an environmental scientist/consultant in the energy industry having helped start and manage two successful environmental consulting firms that were acquired by nationally recognized engineering / environmental companies.

The important work being done by the HPC will have a positive and profound impact on the future of Leadville. I would like to be a part of that work and feel that I can contribute to its success. Your consideration for my appointment to the HPC as an Advisory Member is greatly appreciated.

Sincerely - Stuart Francone

City of Leadville

800 Harrison Avenue, Leadville, CO 80461
Clerk - (719) 486-0349, Public Affairs Office - (719) 486-2092

APPLICATION FOR THE HISTORIC PRESERVATION COMMISSION

Name Stuart Francone

Address 316 W. 8th St.

City, State, Zip Leadville, CO 80461

Phone 720-854-5146 Email stuartfrancone@gmail.com

Full time Leadville resident ☒ Yes ☐ No 14 # years here
Note: I maintain a town home in Denver to visit my 4 children / 1 granddaughter
If part time, how many months a year do you spend in Leadville? _____

Do you have a degree in any of the following? Please check all that apply.

| | |
|-----------------------------|---------------------|
| _____ History | _____ Year & degree |
| _____ Archaeology | _____ Year & degree |
| _____ Architectural History | _____ Year & degree |
| _____ Architecture | _____ Year & degree |
| _____ Historic Architecture | _____ Year & degree |

Please specify your professional experience in your degree field. If you do not have a degree, please explain your experience with any or all of the above areas. Please attach a separate sheet.

see Attached

Do you have any research experience? ☐ Yes ☒ No
If yes, please explain on a separate sheet.

How many hours a month are you able to spend with the HPC? 15-20 hours

Are you willing to attend training sessions to become more knowledgeable about the CLG? yes!

Do you have special skills that will enhance the HPC? Please describe.

Please see Attached

Please describe any additional qualifications that you believe enhance your ability to serve on the Historic Preservation Commission.

please see Attached

To whom it concerns,

I would like to join the Historic Preservation Committee for Leadville.

My name is Paul Mueller. I live at 212 E. 7th St. here in Leadville. I believe I can contribute helpful insight, ideas, and skills to your committee. I own The Abbey bed and breakfast here in town. I also have five children who are growing up in this community.

Professionally, I have a masters and PhD in economics. I used to teach college students in-person, and now I do so in a hybrid form.

So, as a business owner, parent, and economist, I believe I can bring a lot to the table to help maintain and improve our quality of life here in Leadville and Lake County. Having good rules and guidelines for how the city can develop to preserve its historic heritage is important. I am excited about working with other members of the commission to preserve Leadville's heritage while also working to make room for new people to come join this unique community.

Please let me know if I can answer any questions and thank you for considering my application!

Best,

Paul D. Mueller

Paul D. Mueller

800 Harrison Avenue, Leadville, CO 80461
Clerk - (719) 486-0349, Public Affairs Office - (719) 486-2092

Name Paul Mueller

Address 212 E. 7th St.

City, State, Zip Leadville, CO 80461

Phone 719-650-3725 Email PaulMueller247@gmail.com

Full time Leadville resident X Yes No 1 # years here

Do you have a degree in any of the following? Please check all that apply.

| History | Year & degree |
|---------|---------------|
|---------|---------------|

_____ Archaeology _____ Year & degree

Architectural History _____ Year & degree _____

____ Architecture _____ Year & degree

| Historic Architecture | Year & degree |
|-----------------------|---------------|
|-----------------------|---------------|

Do you have any research experience? X Yes No
If yes, please explain on a separate sheet.

How many hours a month are you able to spend with the HPC? 8 - 12hours

Are you willing to attend training sessions to become more knowledgeable about the CLG? Yes

Do you have special skills that will enhance the HPC? Please describe. See letter of interest

Please describe any additional qualifications that you believe enhance your ability to serve on the Historic Preservation Commission.

See letter of Interest